

CODE INFORMATION

2012 WASHINGTON STATE CODES

BUILDING DATA

OCCUPANCY: A2 (RESTAURANT)
 FIRE SPRINKLERED: YES
 CONSTRUCTION TYPE: V-B
 SITE AREA: 53,458 S.F.
 BUILDING AREA: 4,704 S.F.
 FAR: .08
 ZONING: COMMERCIAL MIXED USE

PARKING

STANDARD SPACES REQUIRED: MIN. 1 / 150 S.F. OF DINING & PATIO AREA
 TOTAL BUILDING & PATIO AREA: 2,509 + 964 = 3,473
 TOTAL SPACES REQUIRED: 3,473 / 150 = 24 SPACES MIN.
 24 X 2.0 = 48 SPACES MAX.

PARKING PROVIDED

TOTAL SPACES PROVIDED: 48 SPACES PROVIDED
 STANDARD STALLS: 24 STALLS (50%)
 COMPACT STALLS: 24 STALLS (50%)



5200 BUFFINGTON ROAD
 ATLANTA, GEORGIA 30349-2998
 PHONE: (404) 765-8000
 FAX: (404) 684-8550

6520 19TH. STREET WEST
 FIRCREST, WA.

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5200 Buffington Rd.
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 30349-2998

Revisions:

Mark	Date	By
1	2/20/18	OWNER REV.

Mark	Date	By
2	3/30/18	AGENCY REV.

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Seal



STORE
 FIRCREST FSR

6520 19TH ST WEST
 FIRCREST, WA

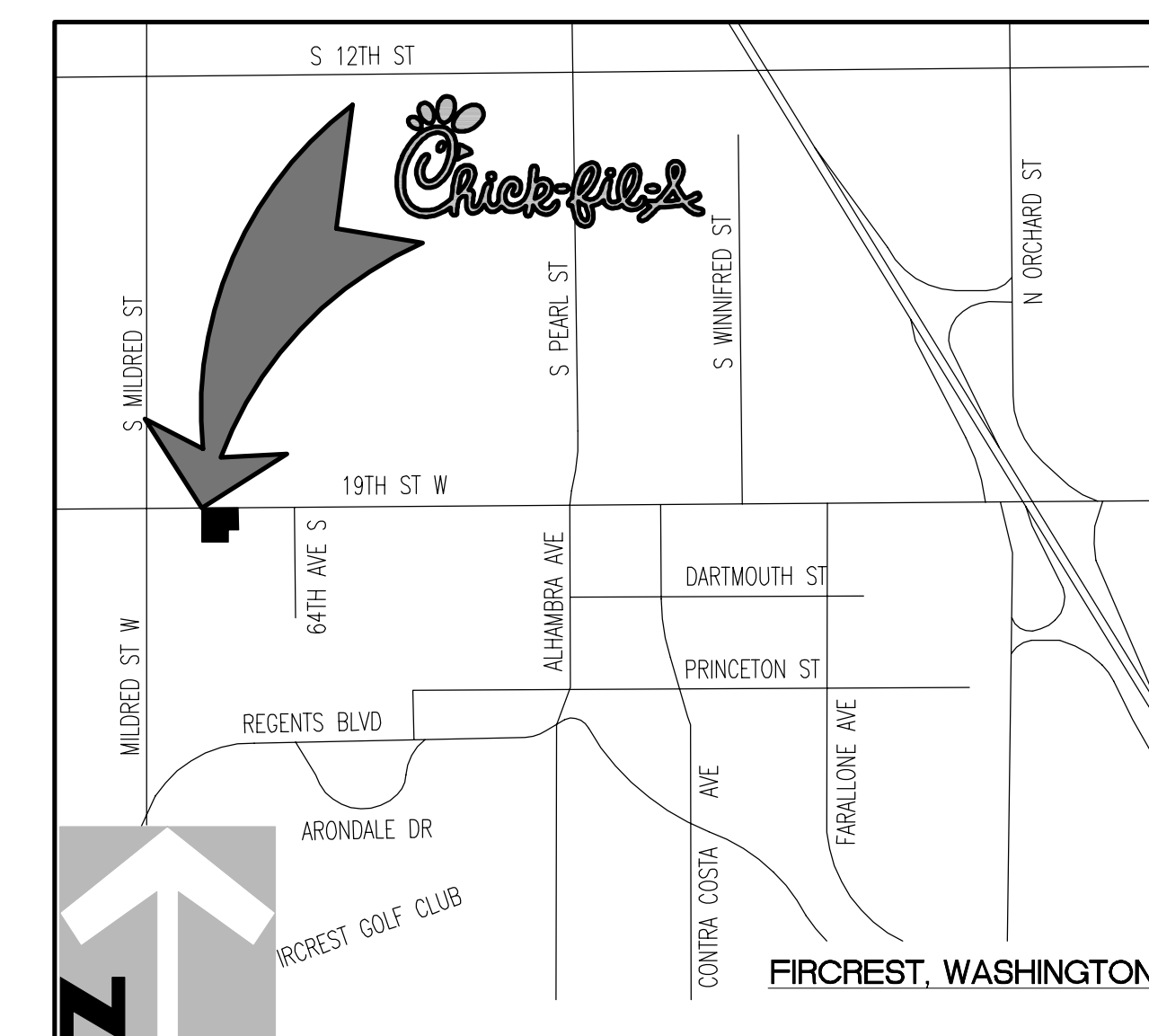
SHEET TITLE
 COVER SHEET

VERSION: SQ-C V7
 ISSUE DATE: 02-2017

Job No. : 16-199
 Store : 04046
 Date : 02-14-18
 Drawn By : RD
 Checked By: RH

Sheet

T-1



2 VICINITY MAP

NTS

Architect:

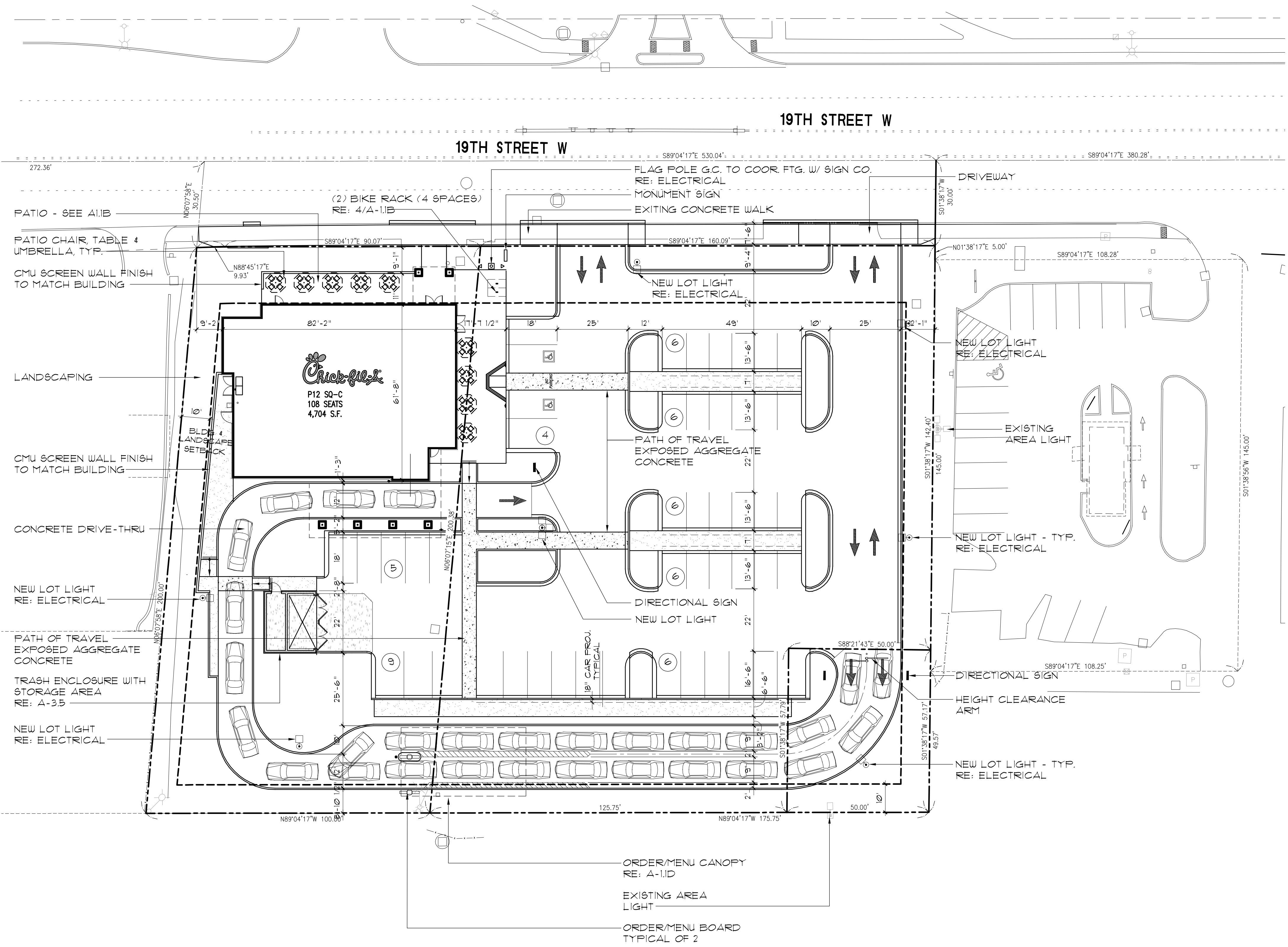
C.R.H.O.
 1833 E. 17TH STREET, SUITE 301
 SANTA ANA, CA. 92705
 PHONE: (714) 832-1834
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 CONTACT: RUSSELL HATFIELD
 E-MAIL: RUSSELL@CRHO.COM

Civil & Landscape:

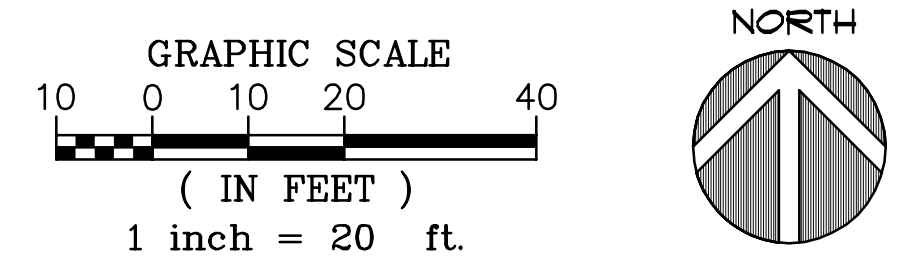
BARGHAUSEN
 18215 72ND AVENUE SOUTH.
 KENT, WA. 98032
 PHONE: (425) 251-6222
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 E-MAIL: CJENSEN@BARGHAUSEN.COM

Applicant

CHICK-FIL-A
 PHONE: (760) 884-7011
 CONTACT: ED HALE
 E-MAIL: EHALE@4GDEV.COM



1 SITE PLAN
1" = 20'-0"



BUILDING DATA

OCCUPANCY:	A2 (RESTAURANT)
FIRE SPRINKLERED:	YES
CONSTRUCTION TYPE:	V-B
SITE AREA:	53,458 S.F.
BUILDING AREA:	4,704 S.F.
FAR:	.08
ZONING:	COMMERCIAL MIXED USE

CFA PARKING

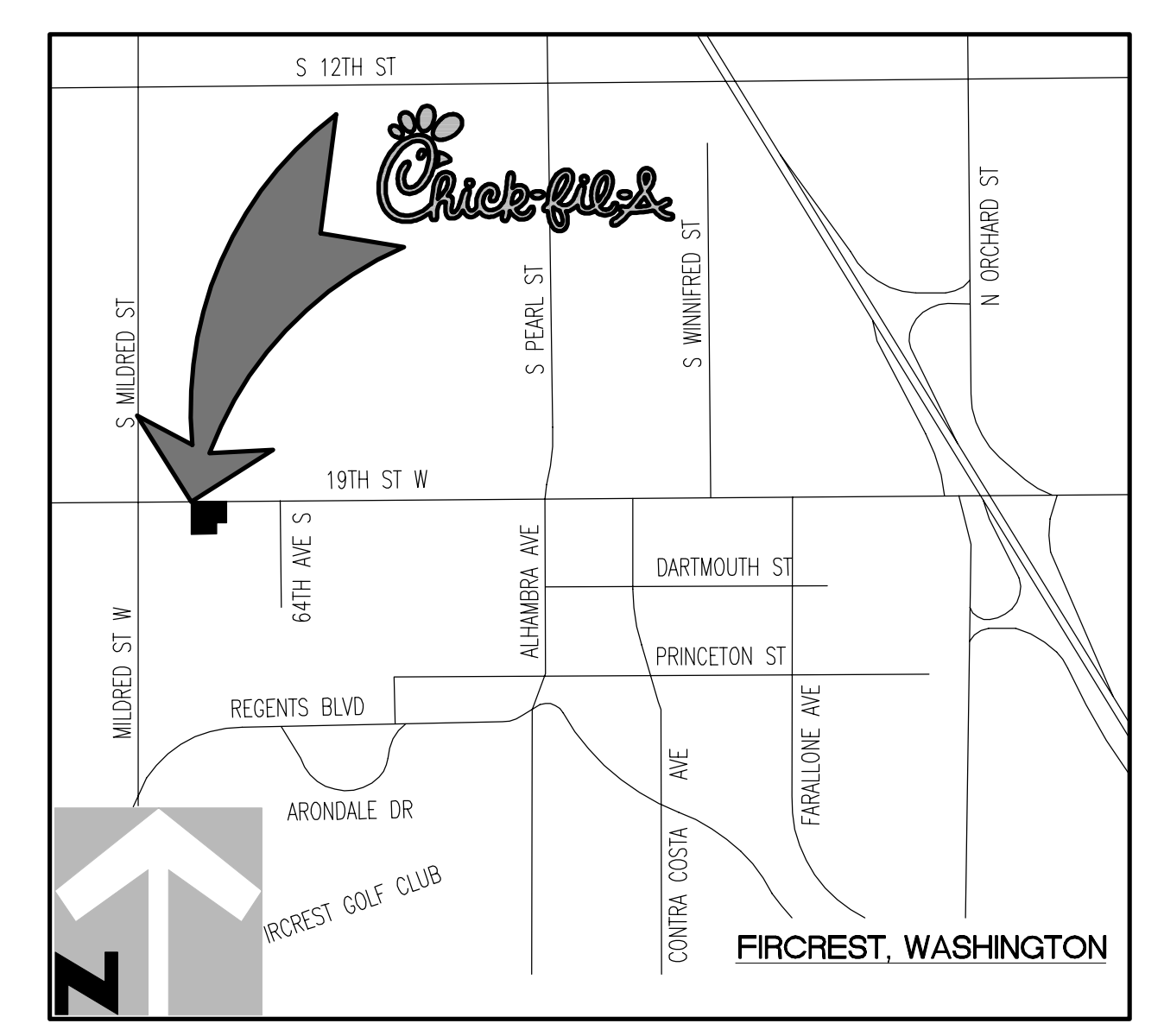
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TOTAL SPACES REQUIRED:	3,473 / 150 = 24 SPACES MIN. 24 X 2.0 = 48 SPACES MAX.

PARKING PROVIDED

TOTAL SPACES PROVIDED:	48 SPACES PROVIDED
	STANDARD STALLS: 24 STALLS (50%) COMPACT STALLS: 24 STALLS (50%)
BICYCLE PARKINGS PROVIDED:	4 SPACES PROVIDED

PERVIOUS/IMPERVIOUS AREA

IMPERVIOUS SURFACE (SF)	39,280 SF (73.5%)
PERVIOUS SURFACE (SF)	14,178 SF (26.5%)
TOTAL AREA:	53,458 SF (100%)



2 VICINITY MAP
NTS



Chick-fil-ly

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Revisions:

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crho
ARCHITECTS
1833 E 17th Street, Suite 301
Santa Ana, CA. 92705
phone 714.832.1834

STORE
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6520 19TH ST WEST
FIRCREST, WA

SHEET TITLE
PRELIMINARY
SITE PLAN

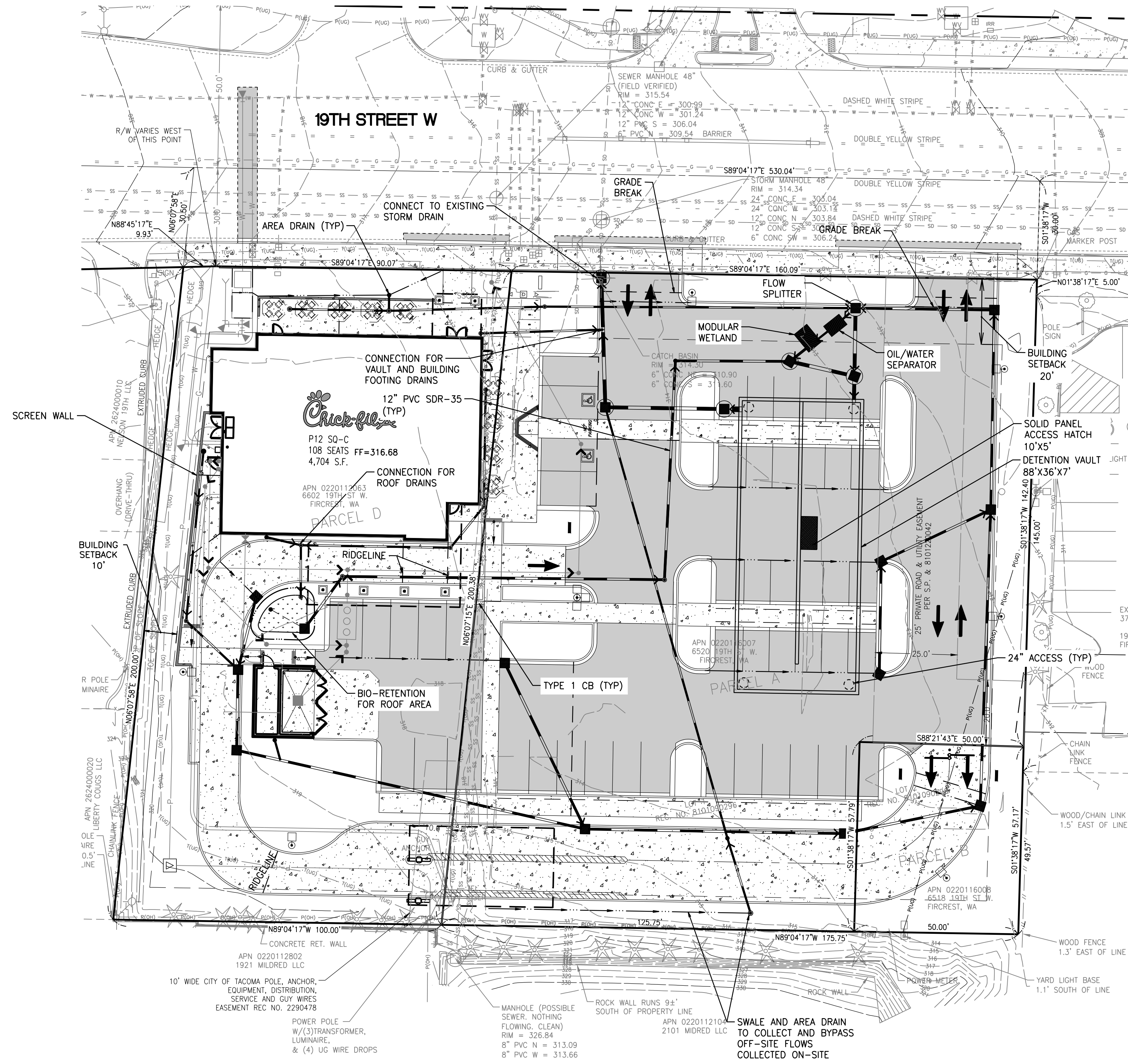
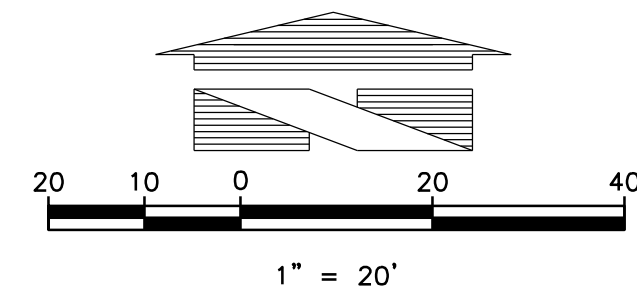
VERSION: SQ-C V7
ISSUE DATE: 02-2017

Job No. : 16-199
Store : 04046
Date : 7-11-18
Drawn By : AL
Checked By: RH

Sheet

SP-1

PRELIMINARY GRADING AND STORM WATER PLAN
FOR
CHICK-FIL-A FIRCREST
SECTION 11, TWP. 20 N., RGE 2 EAST, W. M.
CITY OF FIRCREST, PIERCE COUNTY, STATE OF WASHINGTON



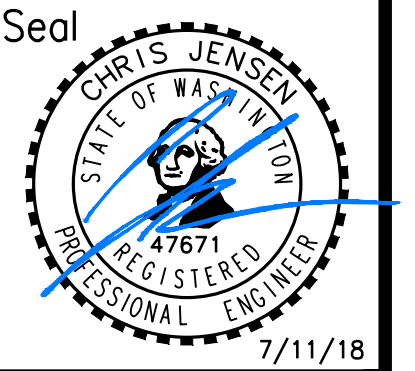
SITE AREA:
TOTAL AREA: 53,458 SF (1.23 AC)
TOTAL IMPERVIOUS SURFACE: 39,280 SF (0.90 AC)
TOTAL PERVIOUS SURFACE: 14,178 SF (0.33 AC)



Chick-fil-A
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Revisions:

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1	2/20/18	OWNER REV.
2	3/30/18	AGENCY REV.



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SHEET TITLE
PRELIMINARY
GRADING AND
STORM WATER
PLAN
VERSION:
ISSUE DATE:

Job No. : 16-199
Store :
Date : 4-5-17
Drawn By : SN
Checked By : CRJ

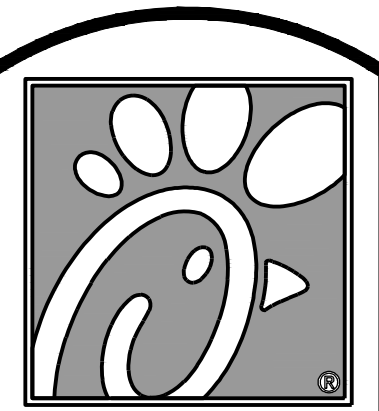
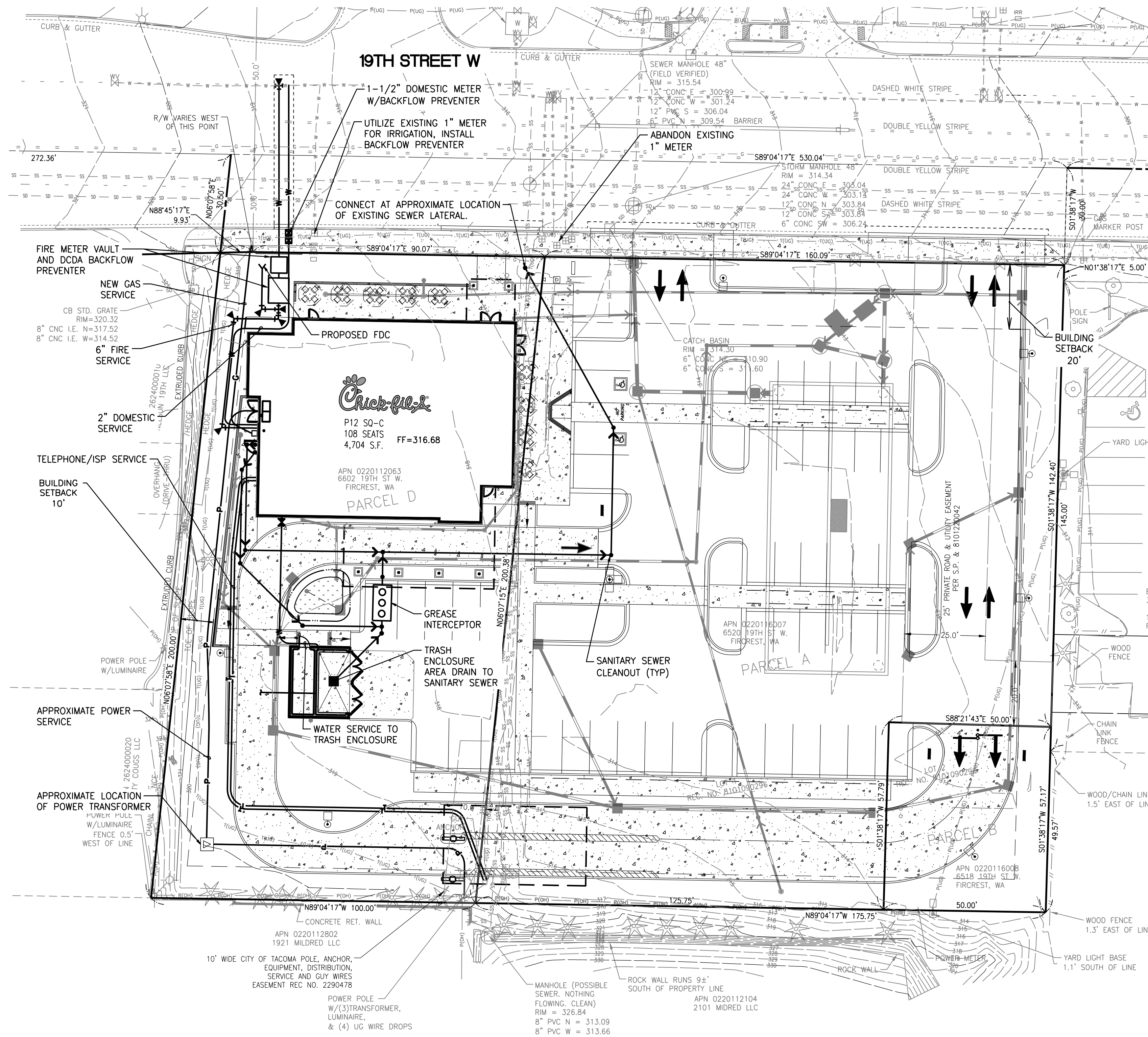
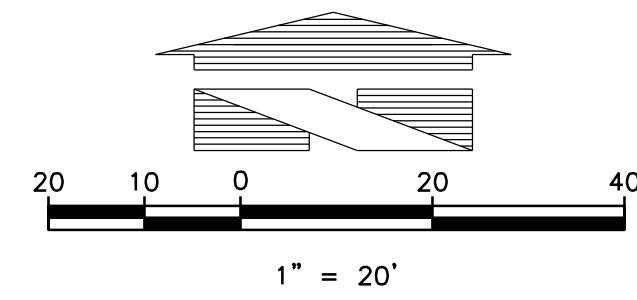
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PRELIMINARY SITE UTILITY PLAN
FOR
CHICK-FIL-A FIRCREST

SECTION 11, TWP. 20 N., RGE 2 EAST, W. M.
CITY OF FIRCREST, PIERCE COUNTY, STATE OF WASHINGTON



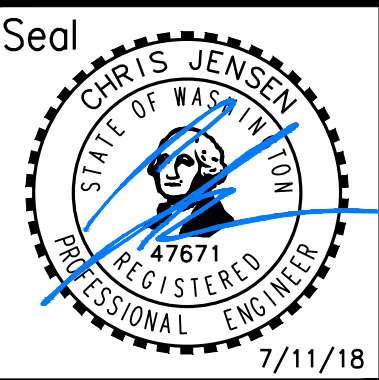
Chick-fil-A

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Revisions:
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1 OWNER REV.
2/20/18

Mark Date By
2 AGENCY REV.
3/30/18

Mark Date By
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SHEET TITLE
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SITE UTILITY
PLAN

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Date : 4-5-17
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C20

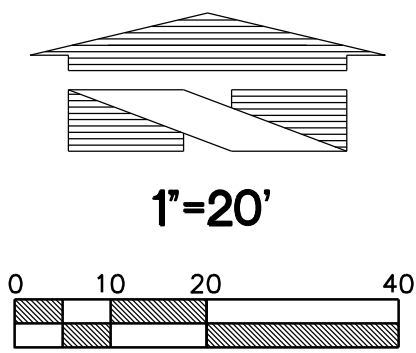


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TREE RETENTION, LANDSCAPE and IRRIGATION SET
FOR
CHICK-FIL-A FIRCREST

SECTION 11, TWP. 20 N., RGE 2 EAST, W. M.
CITY OF FIRCREST, PIERCE COUNTY, STATE OF WASHINGTON

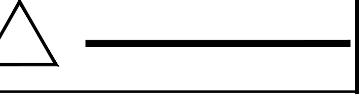


Chick-fil-A

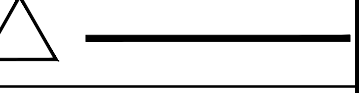
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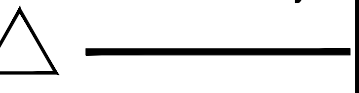
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SHEET TITLE
TREE
RETENTION
PLAN

VERSION:
ISSUE DATE:

Job No. : 16-199

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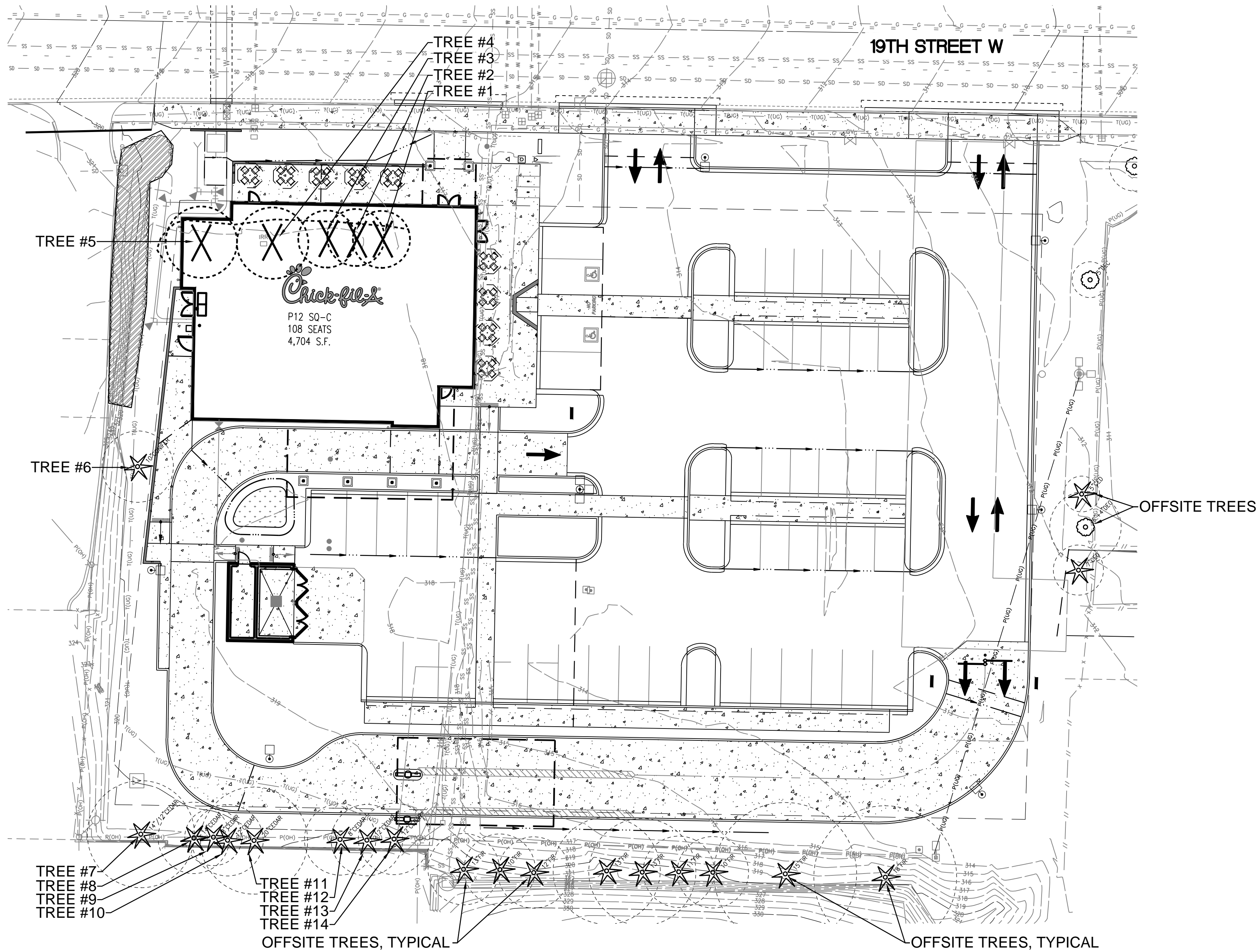
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Drawn By : JMV

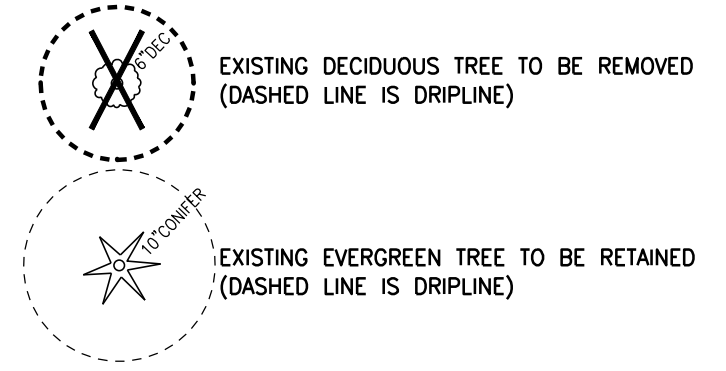
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LEGEND



TREE RETENTION

PER 22.62.009.a, SIGNIFICANT TREES ARE HEALTHY EVERGREEN TREES WITH A MINIMUM 12-INCH DBH AND HEALTHY DECIDUOUS TREES WITH A MINIMUM NINE-INCH DBH

TREE #	SPECIES and DBH	CONDITION	RETAIN/REMOVE
TREE #1	6" DECIDUOUS	FAIR	REMOVE (NOT A SIGNIFICANT TREE)
TREE #2	6" DECIDUOUS	FAIR	REMOVE (NOT A SIGNIFICANT TREE)
TREE #3	5" DECIDUOUS	FAIR	REMOVE (NOT A SIGNIFICANT TREE)
TREE #4	2x6 7/4" DECIDUOUS	FAIR	REMOVE (NOT A SIGNIFICANT TREE)
TREE #5	2x6 7/4" DECIDUOUS	FAIR	REMOVE (NOT A SIGNIFICANT TREE)
TREE #6	10" CONIFER	FAIR	RETAIN
TREE #7	14"/12" CEDAR	TOPPED	RETAIN
TREE #8	14" CEDAR	TOPPED	RETAIN
TREE #9	8" CEDAR	TOPPED	RETAIN
TREE #10	12" CEDAR	TOPPED	RETAIN
TREE #11	20" CEDAR	TOPPED	RETAIN
TREE #12	8" CEDAR	TOPPED	RETAIN
TREE #13	12" CEDAR	TOPPED	RETAIN
TREE #14	12" CEDAR	TOPPED	RETAIN

NO EXISTING SIGNIFICANT TREES PROPOSED TO BE REMOVED



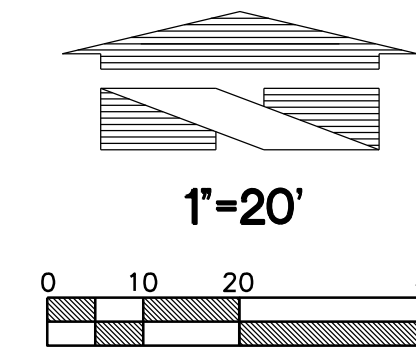
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XXX-XXXXXXXX-XX
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BY _____
CITY ENGINEER
DATE _____

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TREE RETENTION, LANDSCAPE and IRRIGATION SET
FOR
CHICK-FIL-A FIRCREST

SECTION 11, TWP. 20 N., RGE 2 EAST, W. M.
CITY OF FIRCREST, PIERCE COUNTY, STATE OF WASHINGTON



LEGEND

- EXISTING EVERGREEN TREE TO BE RETAINED (DASHED LINE IS DRIPLINE)
- EXISTING HEDGE TO BE RETAINED

ZONING CODE SUMMARY

PER 22.62.004.k, TREE CALIPER IS MEASURED 6" ABOVE FINISH GRADE

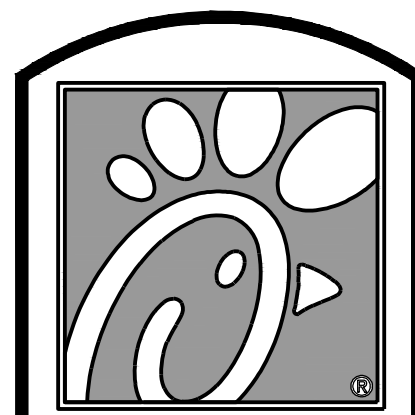
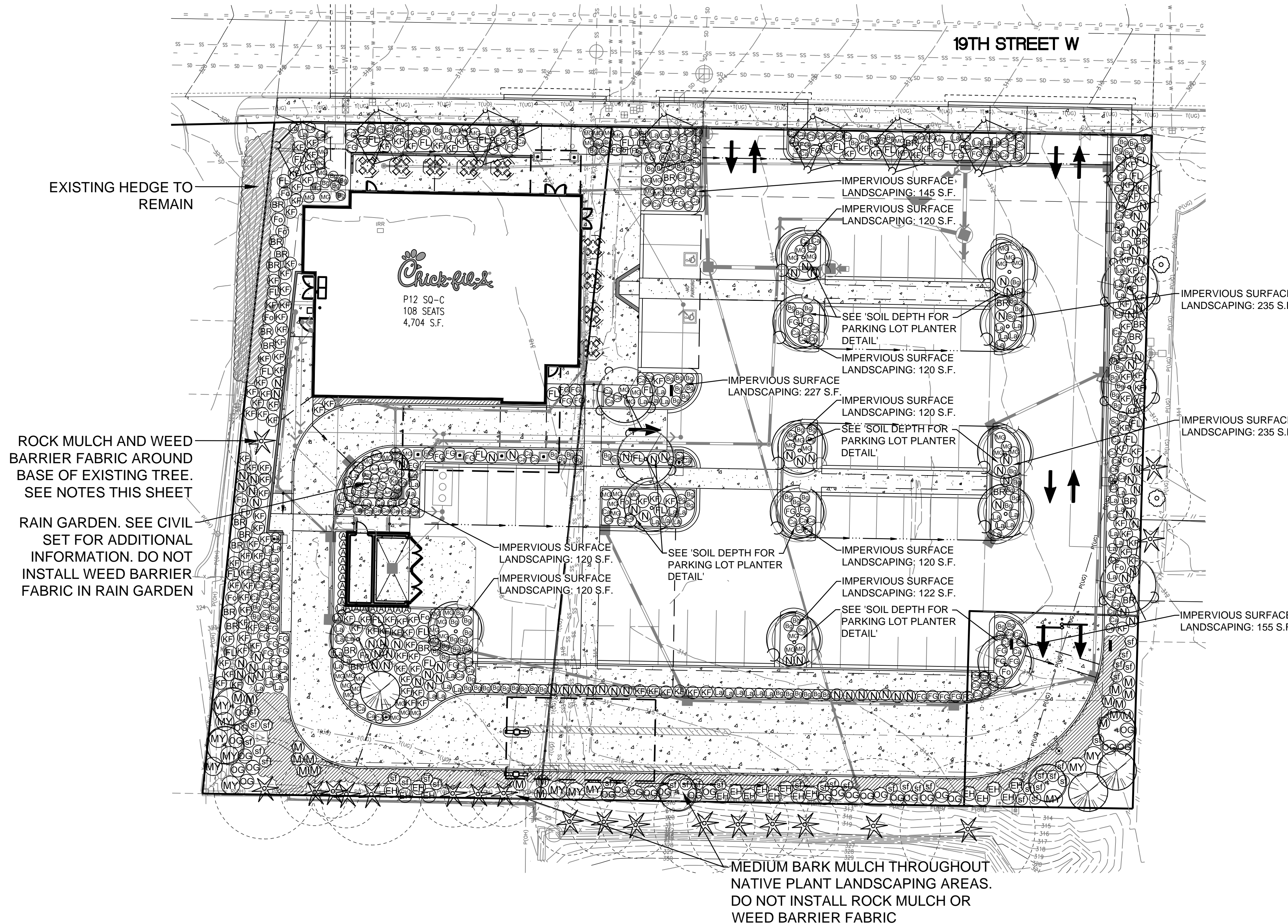
PER 22.62.004.e, GENERALLY, AT LEAST 25 PERCENT OF THE AREA TO BE LANDSCAPED SHALL BE PLANTED WITH SPECIES NATIVE TO THE COASTAL REGION OF THE PACIFIC NORTHWEST. THE MIX OF NATIVE PLANTS SHALL INCLUDE TREES, SHRUBS, AND GROUND COVERS. APPROXIMATELY 9,151 SQUARE FEET OF LANDSCAPE AREA SHOWN
14,178 SQ FT x 25% = 3,545 SQUARE FEET OF NATIVE LANDSCAPING REQUIRED
3,646 SQUARE FEET PROVIDED

ONE DECIDUOUS CANOPY TREE PER FOUR PARKING SPACES
48 STALLS PROPOSED / 4 = 12 TREES REQUIRED
12 DECIDUOUS CANOPY TREES SHOWN

PER 22.62.007, FOR EACH 300 SQUARE FEET OF IMPERVIOUS SURFACE LANDSCAPING:
ONE 2" CALIPER DECIDUOUS TREE OR ONE 5' HEIGHT EVERGREEN TREE, AND
FIVE 5-GALLON SHRUBS, AND GROUND COVER
TOTAL IMPERVIOUS SURFACE LANDSCAPING: 1,719 SQUARE FEET
1,719 / 300 = 6 TREES REQUIRED
(1,719 / 300) x 5 = 29 5-GALLON SHRUBS REQUIRED

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAMES	SIZE CONDITION	SPACING	QUANTITY	REMARKS
TREES:					
	ACER GRISEUM / PAPERBARK MAPLE	2" CAL. B & B	30' O.C.	8	STAKE & GUY ONE GROWING SEASON; NURSERY GROWN FOR STREET TREE USE, BRANCHED AT 5'
	ACER CIRCINATUM / VINE MAPLE*	6'-8' HT. B & B	AS SHOWN	5	STAKE & GUY ONE GROWING SEASON; MIN. 3 STEMS
	PAROTIA PERSICA 'RUBY VASE' / PERSIAN PAROTIA	2" CAL. B & B	AS SHOWN	6	STAKE & GUY ONE GROWING SEASON; NURSERY GROWN FOR STREET TREE USE, BRANCHED AT 5'
	THUJA PLICATA 'EXCELSA' / COLUMNAR WESTERN RED CEDAR*	6'-7' HT. B & B	AS SHOWN	3	STAKE & GUY ONE GROWING SEASON; SINGLE, UN-CUT LEADER
	CERCIDIPHYLLUM JAPONICUM / KATSURA	2" CAL. B & B	AS SHOWN	12	STAKE & GUY ONE GROWING SEASON; NURSERY GROWN FOR STREET TREE USE, BRANCHED AT 5'
SHRUBS:					
(A)	THUJA OCCIDENTALIS 'SMARAGO' / 'EMERALD GREEN' ARBORVITAE	5'-6' HT.	AS SHOWN	18	FULL AND BUSHY
(K)	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' / KARL FORESTER FEATHER REED GRASS	1 GALLON	AS SHOWN	127	FULL AND BUSHY
(E)	PENNISETUM ALOPECUROIDES 'HADELN' / FOUNTAIN GRASS	1 GALLON	AS SHOWN	52	FULL AND BUSHY
(N)	NANDINA DOMESTICA 'MOON BAY' / MOON BAY HEAVENLY BAMBOO	1 GALLON	AS SHOWN	82	FULL AND BUSHY, 3 CANES MINIMUM
(L)	LAVANDULA ANGSTIFOLIA 'HIDCOTE' / ENGLISH LAVENDER	1 GALLON	AS SHOWN	98	FULL AND BUSHY
(FL)	PHORMIUM TENAX 'LEMON WAVE' / NEW ZEALAND FLAX	5 GALLON	AS SHOWN	25	FULL AND BUSHY
(B)	HELICTOTRICHON SEMPERVIRENS 'SAPPHIRE' / BLUE OAT GRASS	1 GALLON	AS SHOWN	120	FULL AND BUSHY
(M)	MISCANTHUS SINENSIS 'LITTLE MISS' / MAIDEN GRASS	1 GALLON	AS SHOWN	71	FULL AND BUSHY
(F)	FOTHERGILLA X INTERMEDIA 'BLUE SHADOW' / DWARF WITCH ALDER	5 GALLON	AS SHOWN	13	FULL AND BUSHY
(BR)	BERBERIS THUNBERGII 'CONCORDE' / REDLEAF BARBERRY	1 GALLON	AS SHOWN	23	FULL AND BUSHY
(S)	CAREX TESTACEA 'PRAIRIE FIRE' / COPPER SEDGE	1 GALLON	AS SHOWN	136	FULL AND BUSHY
(M)	MAHONIA NERVOSA / LOW OREGON GRAPE*	1 GALLON	AS SHOWN	18	FULL AND BUSHY
(OG)	MAHONIA AQUIFOLIUM / TALL OREGON GRAPE*	1 GALLON	AS SHOWN	27	FULL AND BUSHY
(SF)	POLYSTICHUM MUNITUM / SWORD FERN*	1 GALLON	AS SHOWN	37	FULL AND BUSHY
(EH)	VACCINIUM OVATUM / EVERGREEN HUCKLEBERRY*	1 GALLON	AS SHOWN	17	FULL AND BUSHY
(MY)	MYRTICA CALIFORNICA / PACIFIC WAX MYRTLE*	1 GALLON	AS SHOWN	12	FULL AND BUSHY
RAIN GARDEN PLANTS:					
(K)	CORNUS KESEYI / DWARF REDTWIG DOGWOOD*	1 GALLON	AS SHOWN	6	FULL AND BUSHY
(S)	CAREX OBLIQUA / SLOUGH SEDGE*	1 GALLON	AS SHOWN	3	FULL AND BUSHY
(J)	JUNCUS PATENS 'ELK BLUE' / CALIFORNIA GRAY RUSH	1 GALLON	AS SHOWN	9	FULL AND BUSHY
GROUND COVER:					
	GAULTHERIA SHALLON / SALAL*	1 GALLON	24" O.C.	AS REQ'D	HOLD 12" FROM BORDERS, SHRUBS, AND TREES
*DENOTES PLANT NATIVE TO COASTAL PUGET SOUND REGION					
MULCH:					
3"-4" DEPTH OF 2" DIAMETER WASHED COBBLE OVER WEED BARRIER FABRIC IN ALL LANDSCAPE BEDS. STAPLE FABRIC IN PLACE, 1 STAPLE/48" ON-CENTER. OVERLAP FABRIC ENDS AND SIDES MINIMUM 6". TAPER MULCH DOWN TO BASE OF PLANTS. DO NOT COVER STEMS OR TRUNKS OF PLANTS WITH ROCK MULCH. SEE ADDITIONAL MULCH NOTE THIS SHEET. DO NOT INSTALL WEED BARRIER FABRIC IN RAIN GARDEN					
HATCH NOT SHOWN					



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Revisions:

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6520 19TH ST WEST
TACOMA, WA

SHEET TITLE
LANDSCAPE
PLAN

VERSION:
ISSUE DATE:

Job No. : 16-199
Store : ---
Date : 3-10-17
Drawn By : JMV
Checked By: JMV

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2.0



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CITY OF FIRCREST FILE NO.
XXX-XXXXXXX-XX

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BY _____
CITY ENGINEER

DATE _____

TREE RETENTION, LANDSCAPE and IRRIGATION SET
FOR
CHICK-FIL-A FIRCREST
 SECTION 11, TWP. 20 N., RGE 2 EAST, W. M.
 CITY OF FIRCREST, PIERCE COUNTY, STATE OF WASHINGTON

LANDSCAPE PLANTING NOTES AND MATERIALS

SCOPE OF WORK

FURNISH ALL MATERIALS, LABOR, EQUIPMENT AND RELATED ITEMS NECESSARY TO ACCOMPLISH TOPSOIL, TREATMENT AND PREPARATION OF SOIL, FINISH GRADING, PLACEMENT OF SPECIFIED PLANT MATERIALS, FERTILIZER, STAKING, MULCH, CLEAN-UP, DEBRIS REMOVAL, AND 90-DAY MAINTENANCE.

QUALIFICATIONS:
 LANDSCAPE CONTRACTOR TO BE SKILLED AND KNOWLEDGEABLE IN THE FIELD OF WORK AND HAVE A MINIMUM OF FIVE (5) YEAR'S EXPERIENCE INSTALLING SIMILAR WORK. CONTRACTOR TO BE LICENSED TO PERFORM THE WORK SPECIFIED WITHIN THE PRESIDING JURISDICTION.

JOB CONDITIONS:
 IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE SITE AND REPORT ANY DISCREPANCIES TO THE OWNER OR THE OWNER'S REPRESENTATIVES. ALL PLANT MATERIAL AND FINISH GRADES ARE SUBJECT TO APPROVAL BY THE OWNER.

PROTECTION:
 SAVE AND PROTECT ALL EXISTING PLANTINGS SHOWN TO REMAIN. DO NOT PLANT UNTIL OTHER CONSTRUCTION OPERATIONS WHICH CONFLICT HAVE BEEN COMPLETED. IF AN IRRIGATION SYSTEM IS TO BE INSTALLED DO NOT PLANT UNTIL THE SYSTEM HAS BEEN INSTALLED, TESTED, AND APPROVED BY THE OWNER. HANDLE PLANTS WITH CARE - DO NOT DAMAGE OR BREAK ROOT SYSTEM, BARK, OR BRANCHES. REPAIR AND/OR REPLACE ITEMS DAMAGED AS A RESULT OF WORK, OR WORK NOT IN COMPLIANCE WITH PLANS AND SPECIFICATIONS, AS DIRECTED BY OWNER AT NO ADDITIONAL COST TO THE OWNER.

REPAIR OF EXISTING PLANTINGS:
 DURING THE COURSE OF WORK, REPAIR ALL EXISTING PLANTING AREAS BY PRUNING DEAD GROWTH, RE-ESTABLISHING FINISH GRADE AND RE-MULCHING TO SPECIFIED DEPTH.

REPAIR OF IRRIGATION SYSTEM:
 DURING THE COURSE OF WORK, REPAIR ANY DAMAGE TO THE IRRIGATION SYSTEM TO MATCH CONDITIONS PRIOR TO THE DAMAGE.

GUARANTEE:
 GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE OF THE JOB BY OWNER.

90-DAY MAINTENANCE:
 CONTRACTOR TO PROVIDE OWNER WITH A SCOPE OF WORK AT TIME OF INITIAL PROJECT BID TO PROVIDE LANDSCAPE AND IRRIGATION MAINTENANCE FOR 90 DAYS FOLLOWING COMPLETION OF PROJECT (ACCEPTANCE) OF FACILITY BY OWNER. WORK TO INCLUDE MAINTENANCE AS DESCRIBED BELOW, IN PLANTING AND IRRIGATION MAINTENANCE.

SUBMITTALS:
 SUBMIT FIVE (5) COPIES THE FOLLOWING TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE START OF ANY WORK:
 A) DOCUMENTATION THAT ALL PLANT MATERIAL HAS BEEN ORDERED.
 B) TOPSOIL ANALYSIS AND RECOMMENDED AMENDMENTS.
 C) TREE STAKING AND GUYING MATERIALS.
 D) ONE (1) QUART SIZE OF TOPSOIL AND MULCH.
 E) PLANTING SCHEDULE INCLUDING DATES AND TIMES.
 F) MAINTENANCE INSTRUCTIONS FOR ONE (1) FULL YEAR.

MATERIALS:

PLANT MATERIALS:
 PLANT MATERIALS TO BE GRADE NO. 1, SIZED IN ACCORDANCE WITH (AAN) AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1-2004). PRUNE PLANTS RECEIVED FROM THE NURSERY ONLY UPON AUTHORIZATION BY THE LANDSCAPE ARCHITECT. "B & B" INDICATES BALLED AND BURLAPPED; "CONT." INDICATES CONTAINER; "BR" INDICATES BARE ROOT; "GAL" INDICATES GALLON.

- A) SPECIFIED PLANT CANOPY SIZE OR CALIPER IS THE MINIMUM ACCEPTABLE CONTAINER OR BALL SIZE AND ESTABLISHES MINIMUM PLANT CONDITION TO BE PROVIDED.
- B) QUALITY:**
 PLANT MATERIAL TO COMPLY WITH STATE AND FEDERAL LAWS FOR DISEASE INSPECTION, PLANTS TO BE FULLY LIVE, VIGOROUS, WELL FORMED, WITH WELL DEVELOPED FIBROUS ROOT SYSTEMS. ROOT BALLS OF PLANTS TO BE SOLID AND FIRMLY HELD TOGETHER, SECURELY CONTAINED AND PROTECTED FROM INJURY AND DESICCATION. PLANTS DETERMINED BY LANDSCAPE ARCHITECT TO HAVE BEEN DAMAGED; HAVE DEFORMITIES OF STEM, BRANCHES, OR ROOTS; LACK SYMMETRY, HAVE MULTIPLE LEADERS OR "Y" CROTCHES LESS THAN 30 DEGREES IN TREES, OR DO NOT MEET ANY STANDARDS WILL BE REJECTED. PLANT MATERIAL TO BE FROM A SINGLE NURSERY SOURCE FOR EACH SPECIFIED SPECIES/HYBRID. NURSERY SOURCES TO BE THOSE LOCATED IN THE SAME REGION AS THE JOB SITE.
- C) SUBSTITUTION:**
 NO SUBSTITUTION OF PLANT MATERIAL, SPECIES OR VARIETY, WILL BE PERMITTED UNLESS WRITTEN EVIDENCE IS SUBMITTED TO THE OWNER FROM TWO QUALIFIED PLANT BROKERAGE OFFICES. SUBSTITUTIONS WHICH ARE PERMITTED TO BE IN WRITING FROM THE OWNER AND LANDSCAPE ARCHITECT. THE SPECIFIED SIZE, SPECIES AND NEAREST VARIETY, AS APPROVED, TO BE FURNISHED. SUBSTITUTIONS MAY REQUIRE SUBMITTAL TO REVISED LANDSCAPE PLAN TO CITY FOR APPROVAL.
- D) LABEL AT LEAST ONE (1) TREE, SHRUB, AND GROUNDCOVER OF EACH VARIETY WITH A SECURELY ATTACHED WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAMES.**
- E) DELIVER PLANT MATERIAL AFTER PREPARATION OF PLANTING AREAS HAVE BEEN COMPLETED AND PLANT IMMEDIATELY.** IF PLANTING IS DELAYED MORE THAN SIX (6) HOURS AFTER DELIVERY, SET MATERIAL IN SHADE, PROTECT FOR WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOT BALLS MOIST BY COVERING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.

SOIL PREPARATION:
 TOPSOIL, AMENDMENT, AND BACKFILL ARE GENERAL REQUIREMENTS FOR ALL LANDSCAPE AREAS, UNLESS NOTED OTHERWISE ON THE PLANS. SOIL AMENDMENTS AND FERTILIZER NOTED BELOW ARE TO BE USED FOR BID PRICE BASIS ONLY. SPECIFIC AMENDMENTS AND FERTILIZERS WILL BE MADE AFTER SOIL SAMPLES ARE LABORATORY TESTED BY THE CONTRACTOR. PROVIDE CHANGE ORDER FOR ADDITIONAL OR REDUCTION OF MATERIALS REQUIRED OR NOT REQUIRED BY THE SOILS REPORT.

SOIL FERTILITY AND AGRICULTURAL SUITABILITY ANALYSIS:
 AFTER ROUGH GRADING AND PRIOR TO SOIL PREPARATION, CONTRACTOR TO OBTAIN TWO REPRESENTATIVE SOIL SAMPLES, FROM LOCATIONS AS DIRECTED BY THE LANDSCAPE ARCHITECT, TO A SOIL TESTING LABORATORY. SUBMIT RESULTS TO LANDSCAPE ARCHITECT FOR REVIEW. TESTS TO INCLUDE FERTILITY AND SUITABILITY ANALYSIS WITH WRITTEN RECOMMENDATIONS FOR SOIL AMENDMENT, FERTILIZER, CONDITIONERS, APPLICATION RATES, AND POST-CONSTRUCTION MAINTENANCE PROGRAM. TESTS TO BE CONTRACTED WITH AND PAID FOR BY THE CONTRACTOR.

- A) TOPSOIL:**
 CONTRACTOR IS RESPONSIBLE FOR SUPPLYING ALL TOPSOIL AND FOR DETERMINING THE VOLUME OF TOPSOIL REQUIRED PER THE INFORMATION ON PLANS AND NOTED HERE-IN. CONTRACTOR IS RESPONSIBLE FOR ANY NECESSARY WEED CONTROL RESULTING FROM CONTAMINATED OFF SITE SOURCES.
- B) TOPSOIL TO CONSIST OF WINTER MIX AS PRODUCED AND REMIXED BY PACIFIC TOPSOILS, INC. WINTER MIX TO CONSIST OF 1/3 BY VOLUME SANDY LOAM, 1/3 BY VOLUME COMPOSTED GARDEN MULCH, AND 1/3 BY VOLUME COARSE WASHED SAND OR EQUIVALENT. AT MINIMUM, TOPSOIL PRODUCTS BROUGHT ON SITE TO CONTAIN AMENDMENTS AS LISTED IN "C".**
- C) TOPSOIL TO INCLUDE THE FOLLOWING AMENDMENTS AS NECESSARY:**
 THE FOLLOWING AMOUNT PER 1,000 SQUARE FEET:
 1. 6-CUBIC YARDS ORGANIC COMPOST. COMPOST TO BE FREE OR NON-FARM ANIMAL SOURCES, NOR TO BE FROM SOURCES CONTAINING REDWOOD OR CEDAR PRODUCTS.
 2. 30-POUNDS NITROFORM (38-0-0)
 3. 5-POUNDS AMMONIUM SULFATE
 4. 40-POUNDS CALCIUM CARBONATE LIMESTONE
 5. 40-POUNDS DOLOMITE LIMESTONE
 6. 5-OUNES BORON (AS BORAX)
 ALL AMENDMENTS TO BE THOROUGHLY MIXED PRIOR TO INCORPORATION INTO TOPSOIL.

- D) PLANTING BACKFILL FOR ALL TREES, SHRUBS, AND GROUNDCOVERS:
 1. 0.6-CUBIC YARDS PER VOLUME TOPSOIL
 2. 0.4-CUBIC YARDS ORGANIC COMPOST.
 3. 3-POUNDS NITROFORM (38-0-0)
 4. 1-POUNDS AMMONIUM SULFATE
 5. 2-POUNDS CALCIUM CARBONATE LIMESTONE
 6. 2-POUNDS DOLOMITE LIMESTONE
- E) TOPSOIL PREPARATION AND INSTALLATION:
 1. VERY SUBGRADES TO $-7 \frac{1}{2}$ INCHES IN LANDSCAPE AREAS AND $-18 \frac{1}{4}$ INCHES IN PARKING LOT ISLANDS BELOW FINISH ELEVATION, OR AS INDICATED ON PLANS. THIS ACCOMMODATES, TOPSOIL, AMENDMENTS, AND MULCH.
 2. ERADICATE ANY SURFACE VEGETATION ROOTED IN THE SUB-GRADE PRIOR TO SUB-GRADE PREPARATION.
 3. THOROUGHLY SCARIFY AND RIP ALL LANDSCAPE SUB-GRADES WHICH HAVE BECOME COMPACTED TO A DEPTH OF 12 INCHES WITH MULTIPLE PASSES, 90 DEGREES TO EACH OTHER. SCARIFY AREAS INACCESSIBLE TO MECHANIZED EQUIPMENT AND AROUND EXISTING PLANTINGS NOTED TO REMAIN WITH HAND TOOLS.
 4. REMOVE SOIL LUMPS, ROCK, VEGETATION AND/OR DEBRIS LARGER THAN 2 INCHES FROM ALL SUB-GRADE PRIOR TO PLACEMENT OF SPECIFIED TOPSOIL.
 5. REMOVE ANY ASPHALT EXTENDING BEYOND 6 INCHES FROM CURBS INTO ADJACENT LANDSCAPE AREAS.
 6. PARKING LOT PLANTER ISLANDS TO BE OVER EXCAVATED BY BACKHOE. REMOVE PAVING WASTE, GRAVEL BASE MATERIAL AND UNDERLYING SUBSOIL TO 18 INCHES BELOW TOP OF PAVING. SCARIFY AND OVER EXCAVATE PLANT PIT BOTTOM 12 INCHES TO MINIMIZE STRUCTURAL COMPACTION.

- F) TOPSOIL PLACEMENT:
 1. PROVIDE A TOTAL FINISH COURSE OF 4 INCHES OF TOPSOIL FOR LANDSCAPE AREAS AND $18 \frac{1}{4}$ INCHES IN PARKING LOT ISLANDS.
 2. IN ALL LANDSCAPE AREAS, PLACE 2 INCHES (6 INCHES IN PARKING LOT ISLANDS) OF TOPSOIL MIX WITH AMENDMENTS OVER THE PREPARED SUB-GRADE AND THOROUGHLY ROTOTILL WITH MULTIPLE PASSES INTO THE TOP 6 INCHES OF SUB-GRADE FOR A TOTAL DEPTH OF 8 INCHES IN LANDSCAPE AREAS (12 INCHES IN PARKING LOT ISLANDS). PLACE AN ADDITIONAL 2 INCH LIFT OF TOPSOIL, IN ALL LANDSCAPE AREAS AND A MINIMUM 12 INCH LIFT IN ALL PARKING LOT ISLANDS, FOR THE FINAL TOPSOIL DEPTH OF 4 INCHES IN LANDSCAPE AREAS AND $18 \frac{1}{4}$ INCHES IN PARKING LOT ISLANDS.
 3. PLACE ADDITIONAL TOPSOIL AND SOIL MIX AS REQUIRED TO MEET FINISH ELEVATIONS.

MULCH (TOPDRESSING):
 2"-3" DIAMETER WASHED COBBLE, ROUNDED AND NOT ANGULAR. IN ADDITION, MEDIUM HEM-FIR BARK MULCH TO BE INSTALLED IN AREAS SHOWN TO RECEIVE NATIVE LANDSCAPING.

STAKES:
 2"-INCH DIAMETER BY 8-FOOT MINIMUM LODGEPOLE PINE STAKES.

GUY MATERIAL:
 1"-INCH WIDE POLYETHYLENE CHAIN LOCK TYPE TIES; OR, 3/8" DIAMETER RUBBER. NO WIRE.

HERBICIDE:
 HERBICIDE IS NOT RECOMMENDED FOR THE FIRST YEAR AFTER INSTALLATION.

ANTI-DESICCANT:
 "WILT-PROOF," 48 HOURS PRIOR TO SHIPMENT TO SITE FROM JUNE 1 THROUGH SEPTEMBER. THOROUGHLY ROOT WATER PLANTS PRIOR TO DELIVERY. PLANT MATERIAL DELIVERED TO SITE TO BE KEPT CONTINUALLY MOIST THROUGH INSTALLATION.

EXECUTION:

CONTAMINANTS:
 VERIFY THAT ALL SOIL CONTAMINANTS (E.G., PAINT, SEALANTS, SOLVENTS, OILS, GREASES, CONCRETE/ASPHALT SPOILS, ETC.) HAVE BEEN SATISFACTORILY REMOVED FROM ALL PLANTING AREAS. DO NOT BEGIN WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

FINISH GRADES:
 FINE GRADE AND REMOVE ROCKS, DEBRIS, AND FOREIGN OBJECTS OVER 2 INCHES DIAMETER FROM TOP SURFACE LANDSCAPE AREAS. FINISH ELEVATIONS TO BE DEFINED AS 2 INCHES BELOW CURBS, WALKS AND/OR OTHER ADJACENT HARDSCAPE FOR ALL PLANTING BED AREAS AND 1-INCH BELOW CURBS, WALKS AND/OR OTHER ADJACENT HARDSCAPE FOR ALL LAWN AREAS. FINISH GRADE REFER TO GRADES PRIOR TO INSTALLATION OF MULCH OR LAWN. ALL FINISH GRADES TO BE SMOOTH EVEN GRADES, LIGHTLY COMPACTED, AS SHOWN ON THE PLAN AND DETAILED. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES. SITE CIVIL DRAWINGS IDENTIFY FINAL ELEVATIONS. MOISTEN BEFORE PLANTING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE TO DRY BEFORE PLANTING. DO NOT CREATE MUDDY SOIL.

TREES AND SHRUBS:
 ARRANGE TREES AND SHRUBS ON SITE IN PROPOSED LOCATIONS PER DRAWINGS. EXCAVATE PIT, PLANT AND STAKE OR GUY, AS DETAILED. ALL TREES, SHRUBS, AND SUPPORTS TO STAND VERTICAL. BACKFILL SHALL BE PIT SPOILS. SETTLE BACKFILL USING WATER ONLY. NO MECHANICAL COMPACTION.

GROUNDCOVERS:
 EXCAVATE PITS TO A MINIMUM OF 3 INCHES BELOW, AND TWICE THE ROOT BALL DIAMETER. WATER THOROUGHLY AND TAKE CARE TO ENSURE THAT ROOT CROWN IS AT PROPER GRADE, AS DETAILED.

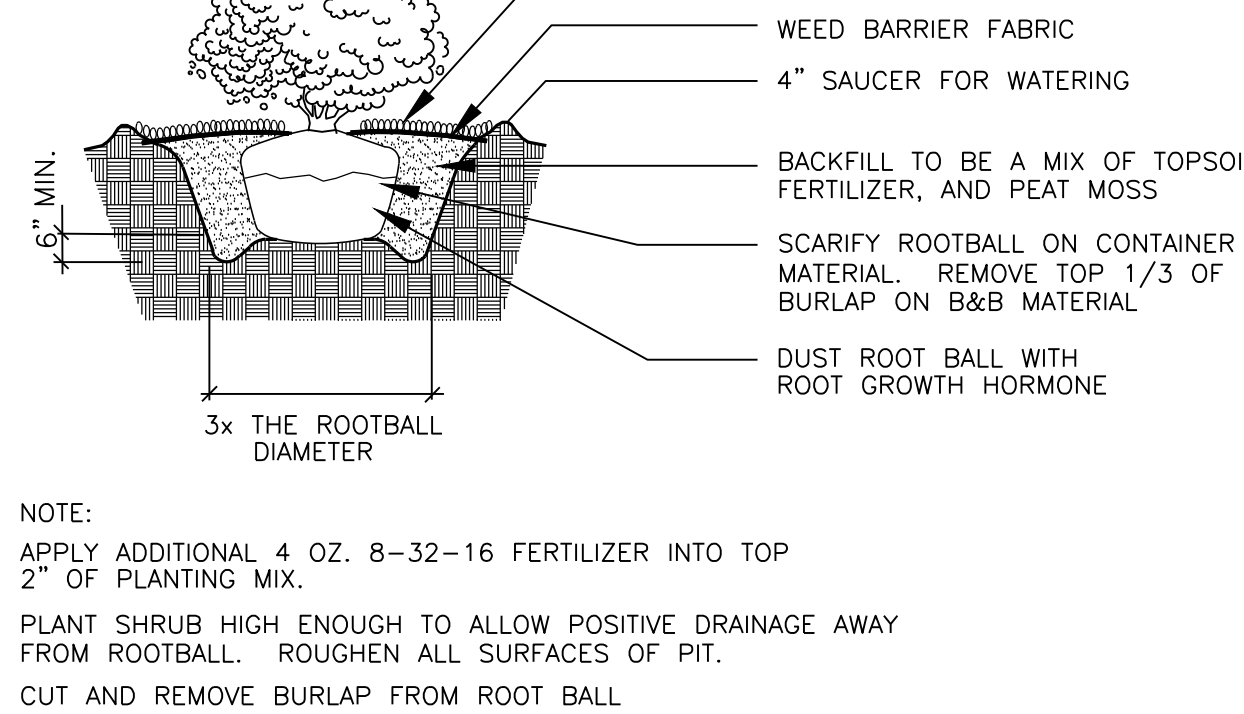
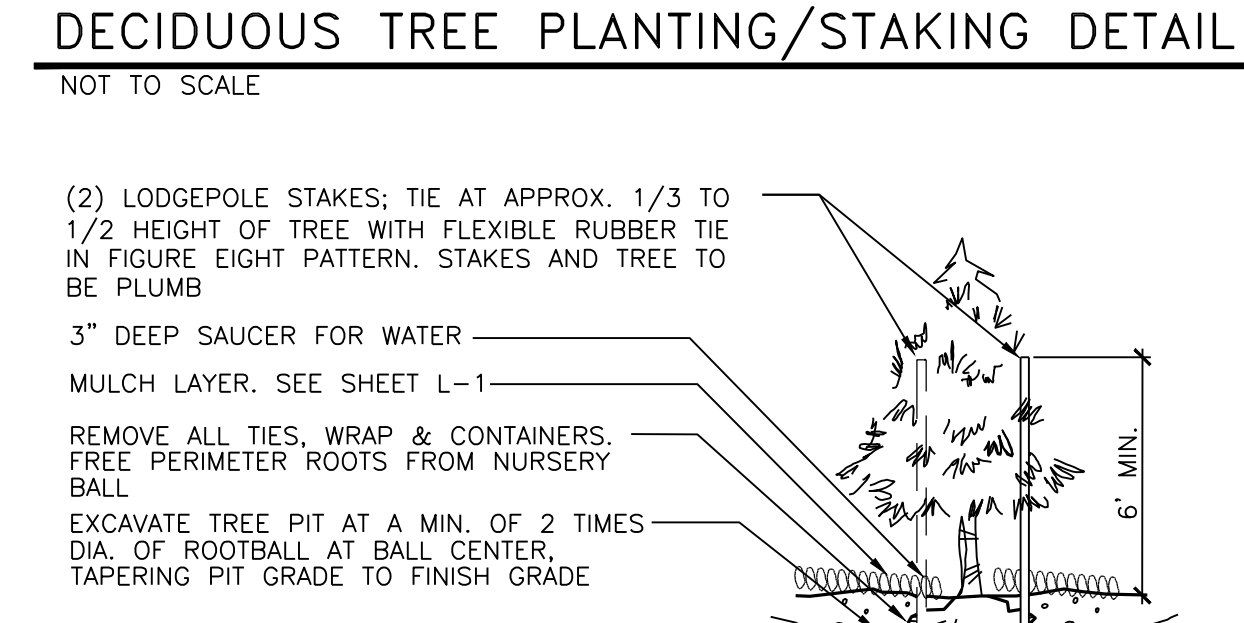
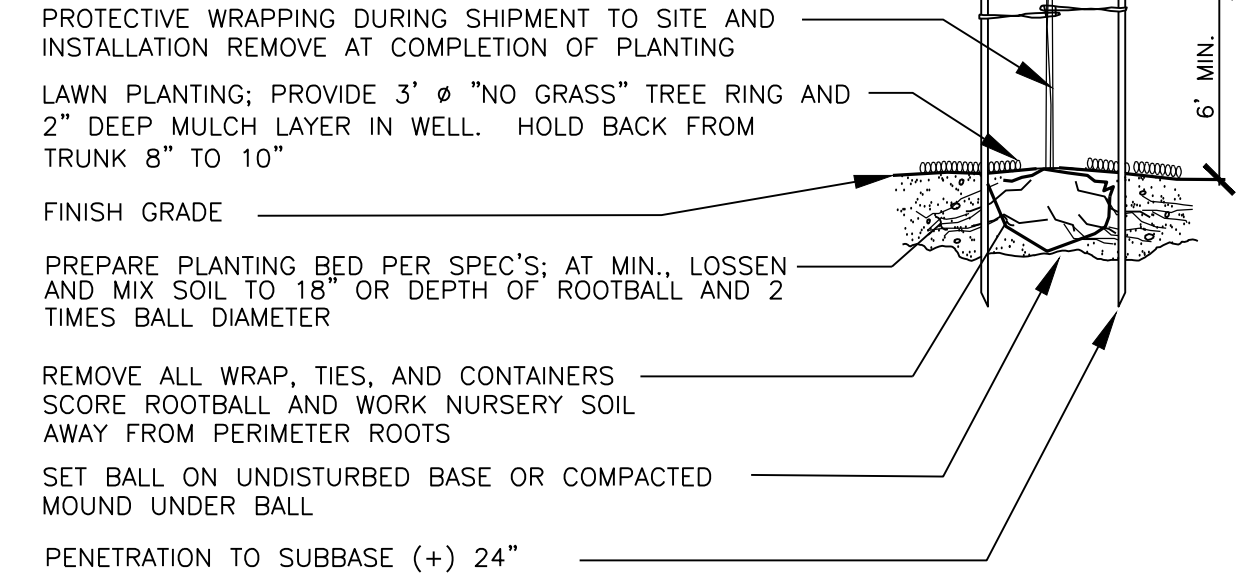
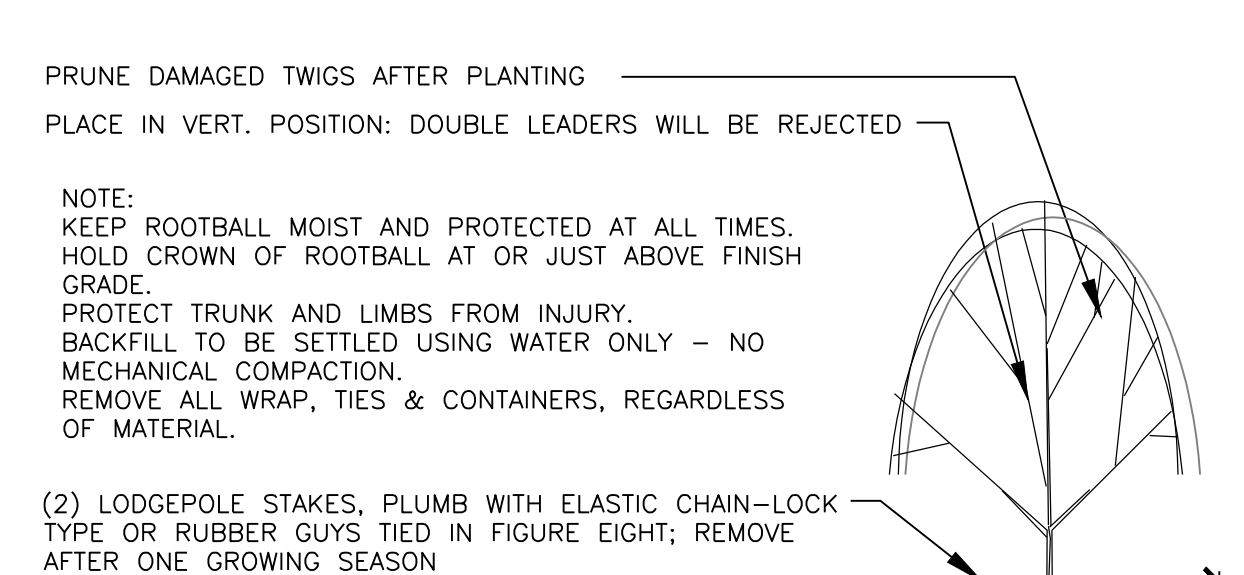
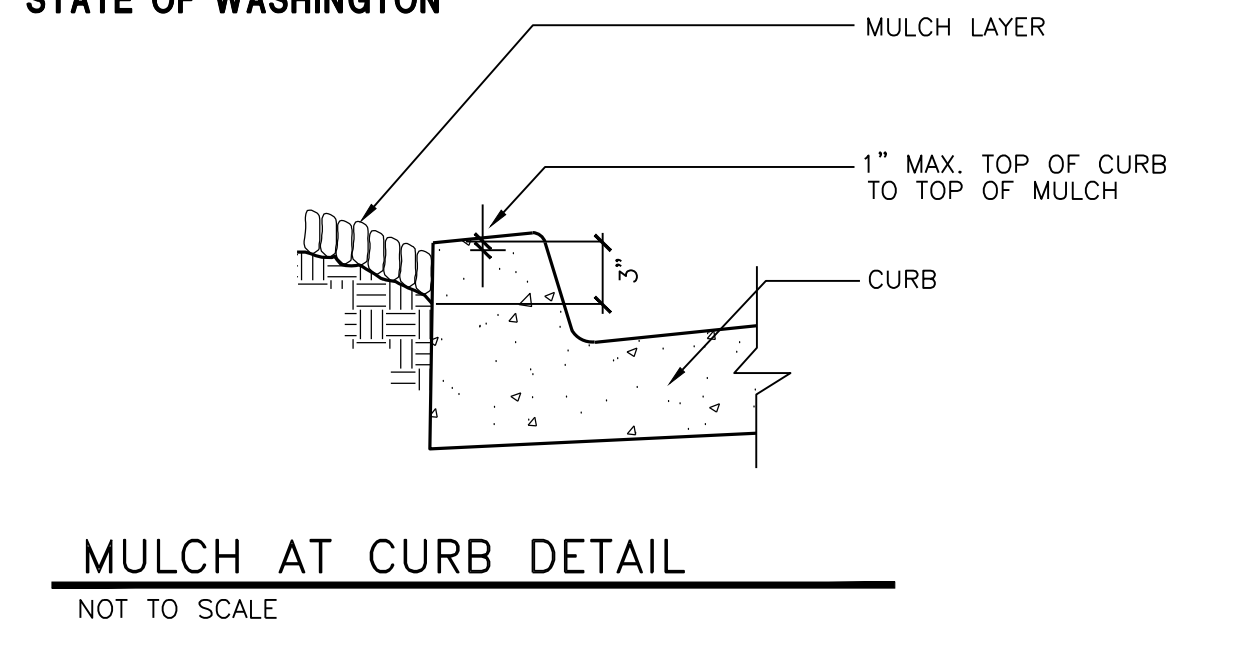
MULCH:
 MULCH ALL LANDSCAPE AREAS NOT COVERED BY LAWN AND/OR SEED. APPLY SUFFICIENT QUANTITY TO PROVIDE A 3-4-INCH DEPTH OF THE ROCK MULCH. INSTALL WEED BARRIER FABRIC AS NOTED IN THIS SET. FOR THE NATIVE LANDSCAPE AREAS, INSTALL 2"-3" DEPTH OF BARK MULCH.

UTILITY CLEARANCES:
 FIELD ADJUST PLANT LOCATIONS FOR 8-FOOT SEPARATION OF TREES/SHRUBS AND 2-FOOT SEPARATION FOR GROUNDCOVER FROM FIRE HYDRANTS AND UTILITY VAULTS.

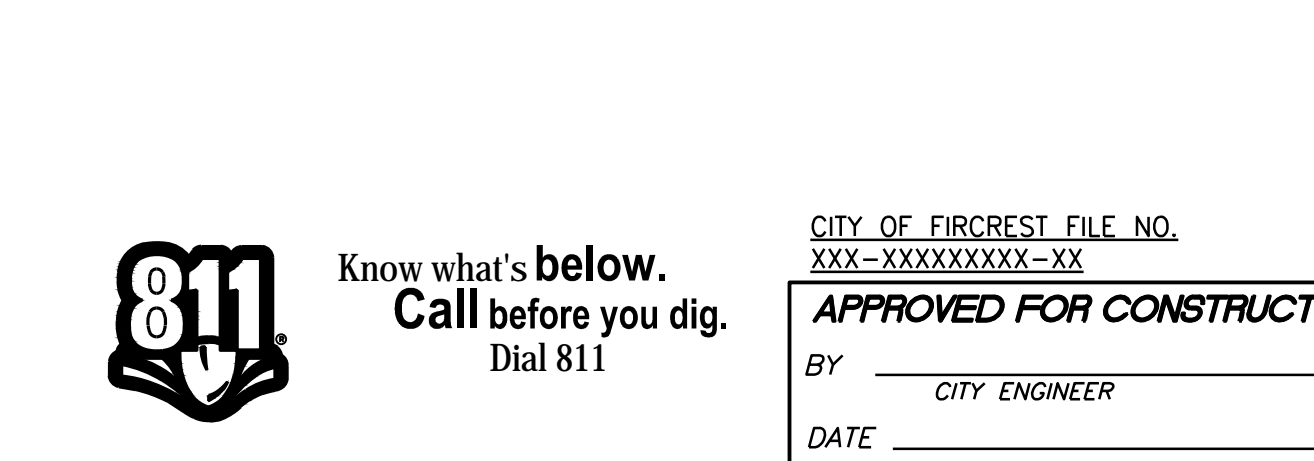
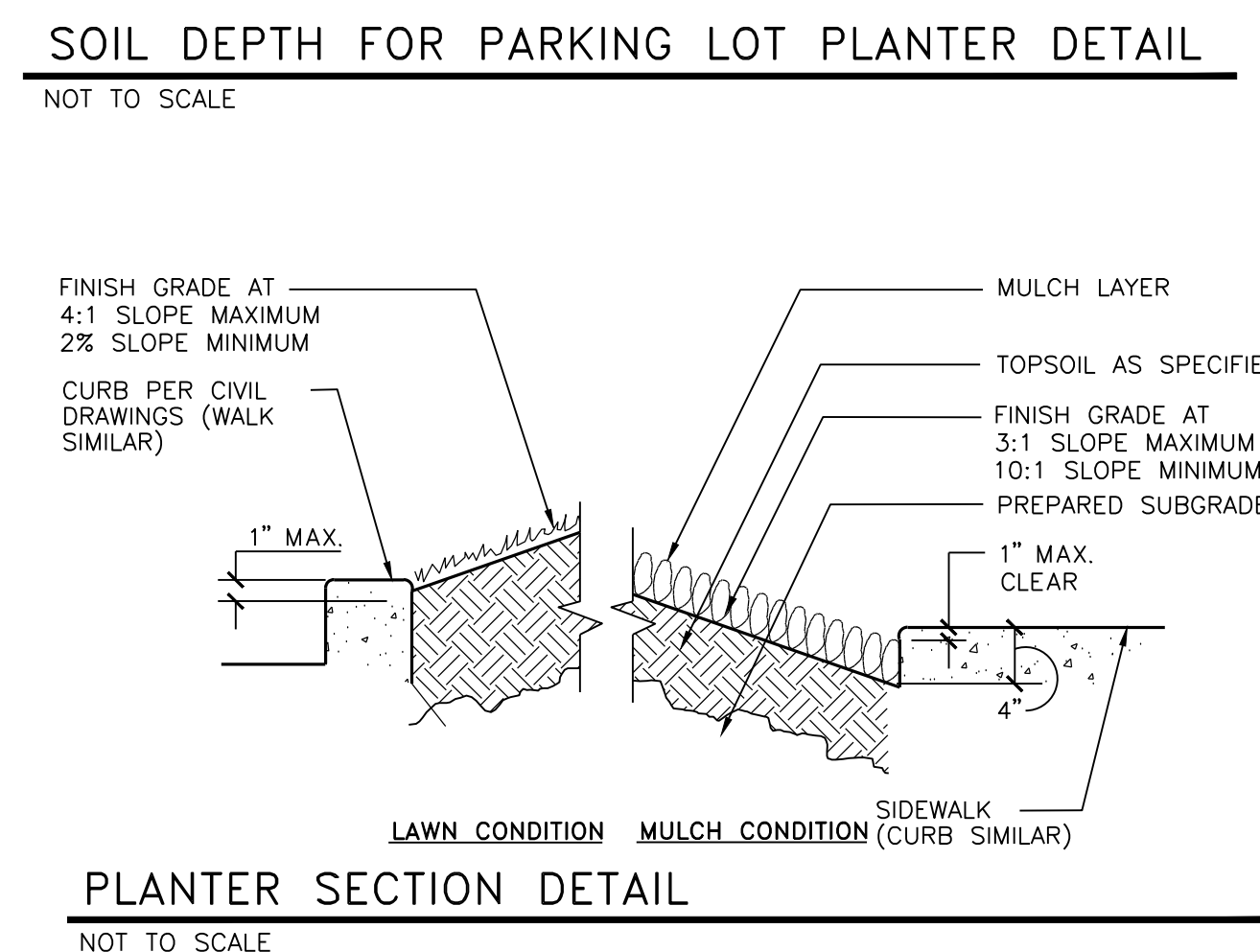
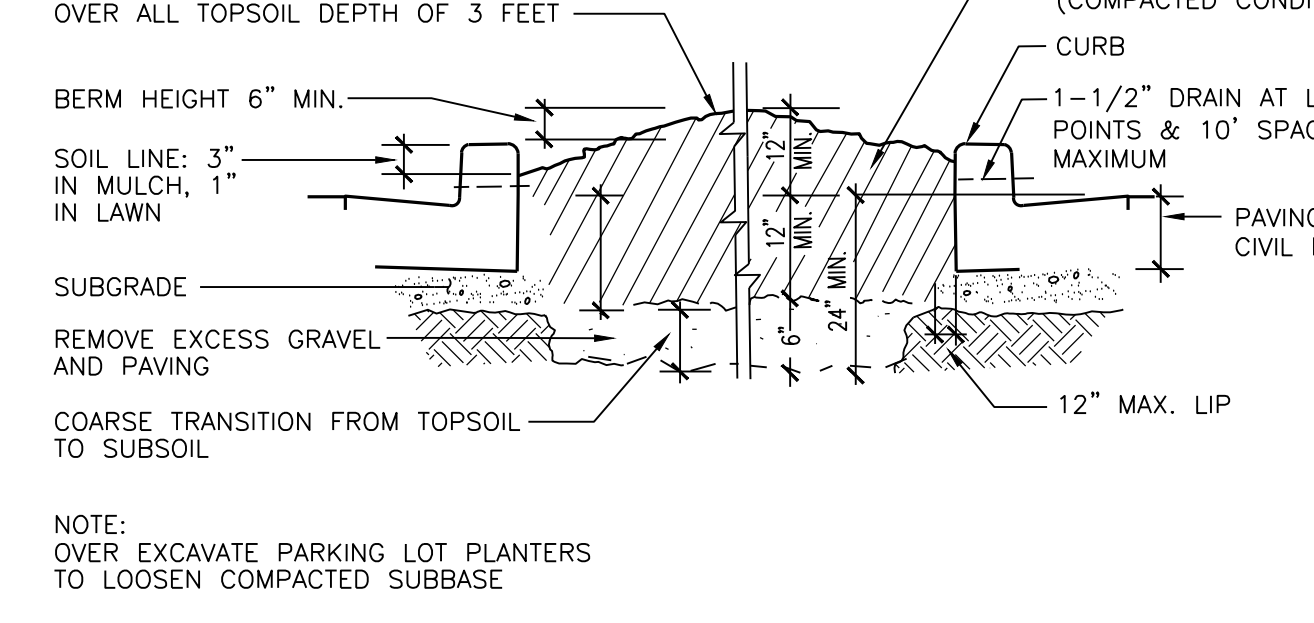
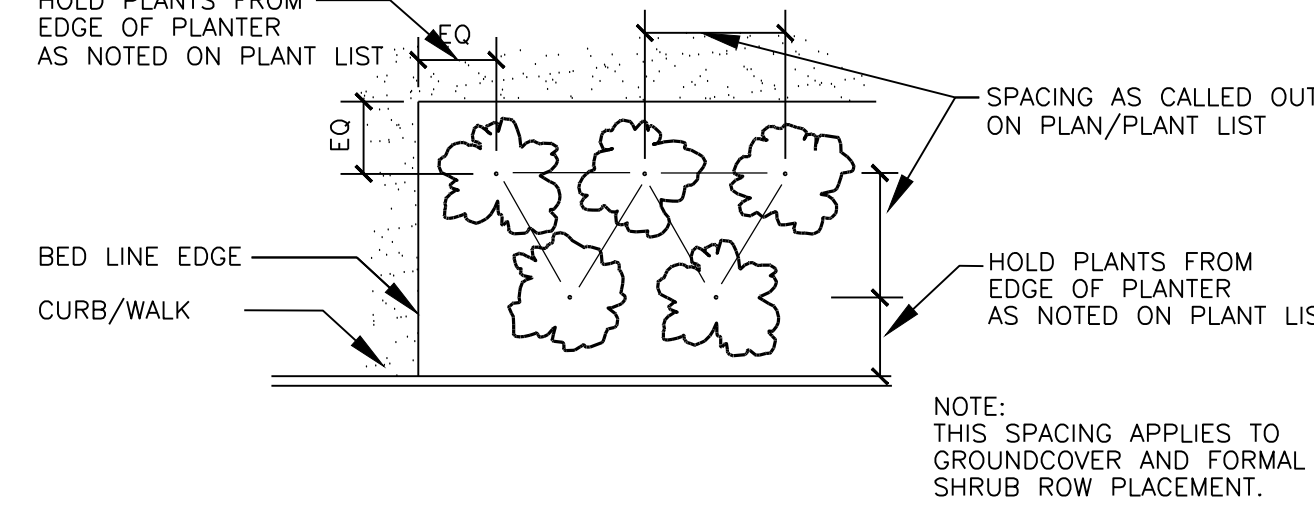
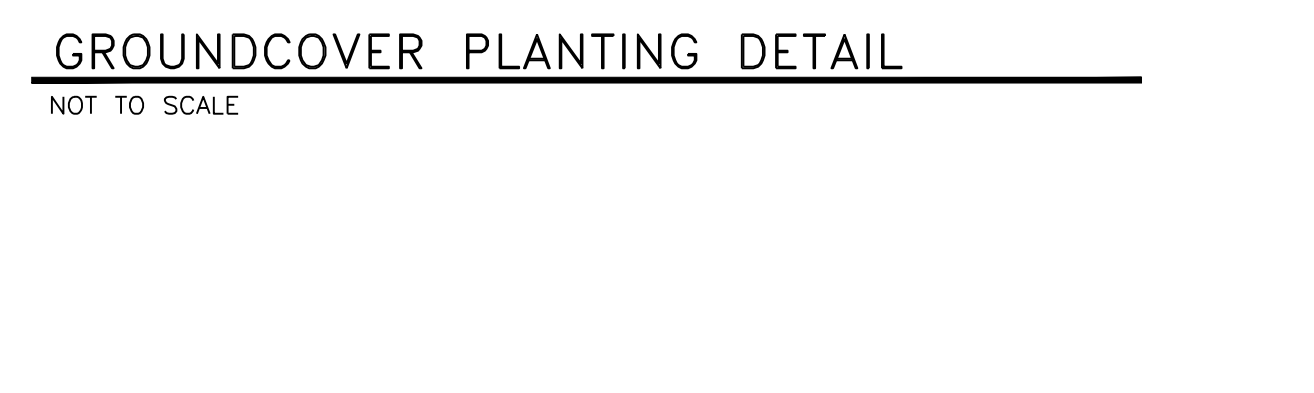
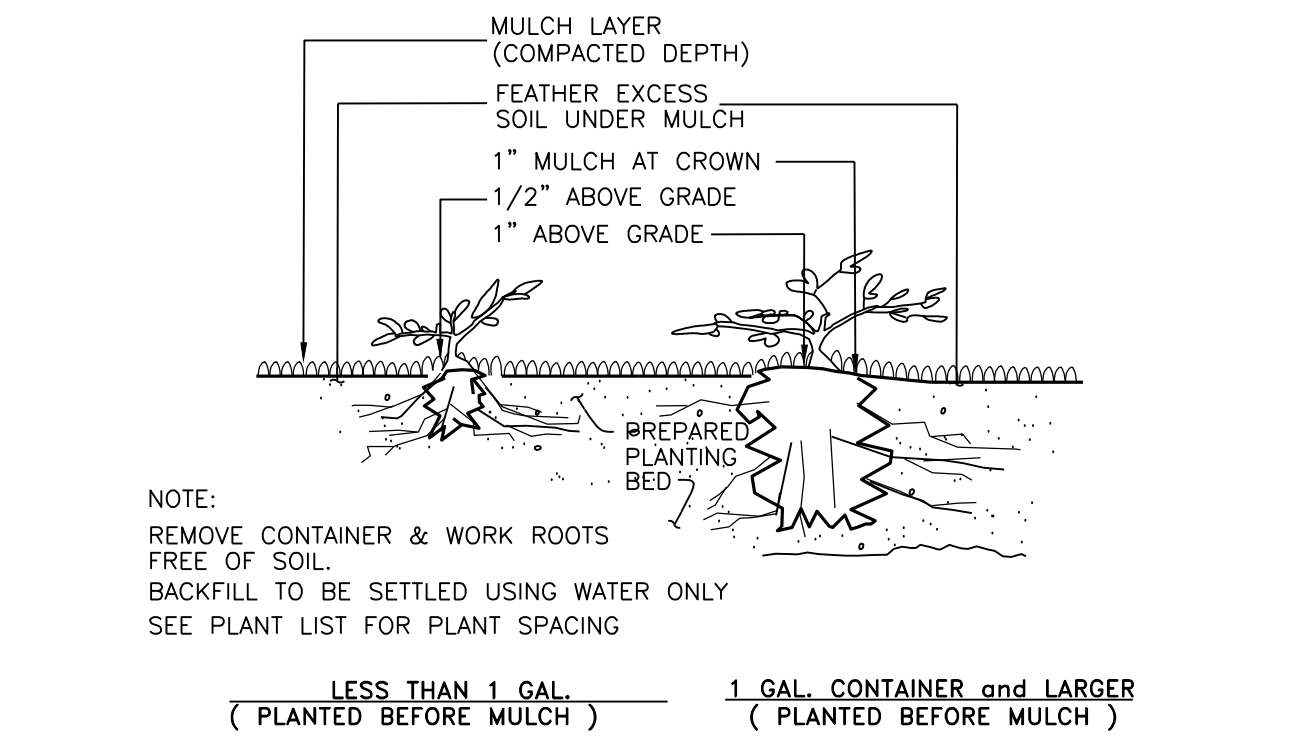
CLEANUP AND PROTECTION:
 DURING LANDSCAPE WORK, KEEP ALL PAVEMENT CLEAN AND WORK AREAS IN AN ORDERLY CONDITION. PROTECT LANDSCAPE WORK AND MATERIALS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS AND TRESPASSERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIOD. TREAT, REPAIR, OR REPLACE DAMAGE LANDSCAPE WORK AS DIRECTED BY THE OWNER.

PLANTING MAINTENANCE:
 PROVIDE FULL MAINTENANCE BY SKILLED EMPLOYEES OF LANDSCAPE INSTALLERS. CONTRACTOR TO MAINTAIN PLANTINGS THROUGH COMPLETED INSTALLATION, AND UNTIL ACCEPTANCE OF LANDSCAPE INSTALLATION. PLANTING MAINTENANCE TO INCLUDE WATERING, WEEDING, CULTIVATING, TIGHTENING AND REPAIRING OF TREE GUYS, RESETTING PLANTS TO PROPER GRADES OR POSITION, RE-ESTABLISHING SETTLED GRADES; AND MOWING LAWNS WEEKLY AFTER LAWN ESTABLISHMENT. HERBICIDE IS NOT RECOMMENDED FOR ONE YEAR FOLLOWING LANDSCAPE INSTALLATION. INCLUDED IS REPLACEMENT OF DEAD PLANTS AND PLANTS SHOWING LOSS OF 40 PERCENT OR MORE OF CANOPY.

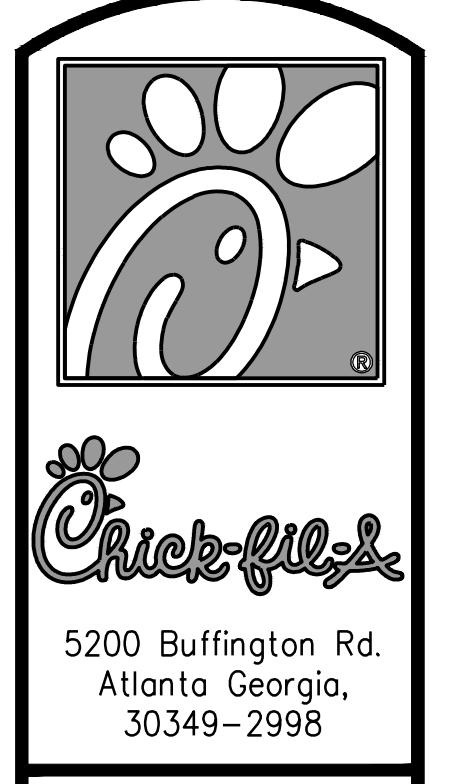
IRRIGATION MAINTENANCE:
 THE IRRIGATION SYSTEM TO BE MAINTAINED INCLUDING ADJUSTMENTS FOR BALANCED WATER DISTRIBUTION AND PRECIPITATION. FAILED OR MALFUNCTIONING EQUIPMENT SHALL BE REPLACED AND/OR CORRECTED. PLANTING AND IRRIGATION MAINTENANCE TO INCLUDE THOSE OPERATIONS NECESSARY TO THE PROPER GROWTH AND SURVIVAL OF ALL PLANT MATERIALS. CONTRACTOR TO PROVIDE THIS WORK IN ADDITION TO SPECIFIC WARRANTY/GUARANTEES.



SHRUB PLANTING DETAIL
 NOT TO SCALE



MULCH AT CURB DETAIL
 NOT TO SCALE



Revisions:	Mark	Date	By
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△			
△			



18215 72ND AVENUE SOUTH
 KENT, WA 98032
 (425)251-6222
 (425)251-8762 FAX
 CIVIL ENGINEERING, LAND PLANNING, SURVEYING, ENVIRONMENTAL SERVICES

BRAIGHAUSEN & COMPANY ENGINEERS
 CONSULTING SERVICES

STORE
 FIRCREST FSR

6520 19TH ST WEST
 TACOMA, WA

SHEET TITLE
 LANDSCAPE
 NOTES and
 DETAILS

VERSION:
 ISSUE DATE:

Job No. : 16-199
 Store : ---
 Date : 3-10-17
 Drawn By : JMV
 Checked By : JMV

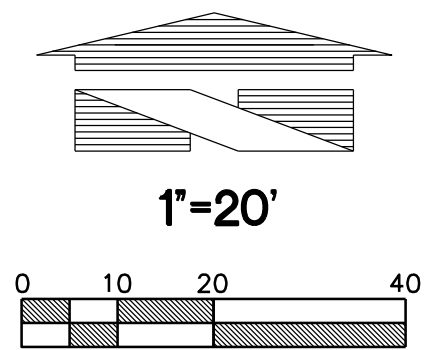
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CITY OF FIRCREST FILE NO.
 XXX-XXXXXXXX-XX
APPROVED FOR CONSTRUCTION
 BY: CITY ENGINEER
 DATE:

File: P:\160008\18300\Engineering\01-04046-L.dwg Date/Time: 7/4/2018 3:53 PM Scale: 0.386663 BSHDOR xref: -- --

TREE RETENTION, LANDSCAPE and IRRIGATION SET
FOR
CHICK-FIL-A FIRCREST

SECTION 11, TWP. 20 N., RGE 2 EAST, W. M.
CITY OF FIRCREST, PIERCE COUNTY, STATE OF WASHINGTON



Chick-fil-A

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark Date By

△

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Mark Date By

△



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SURVEYING, ENVIRONMENTAL SERVICES



STORE
FIRCREST FSR

6520 19TH ST WEST
TACOMA, WA

SHEET TITLE
IRRIGATION
PLAN

VERSION:
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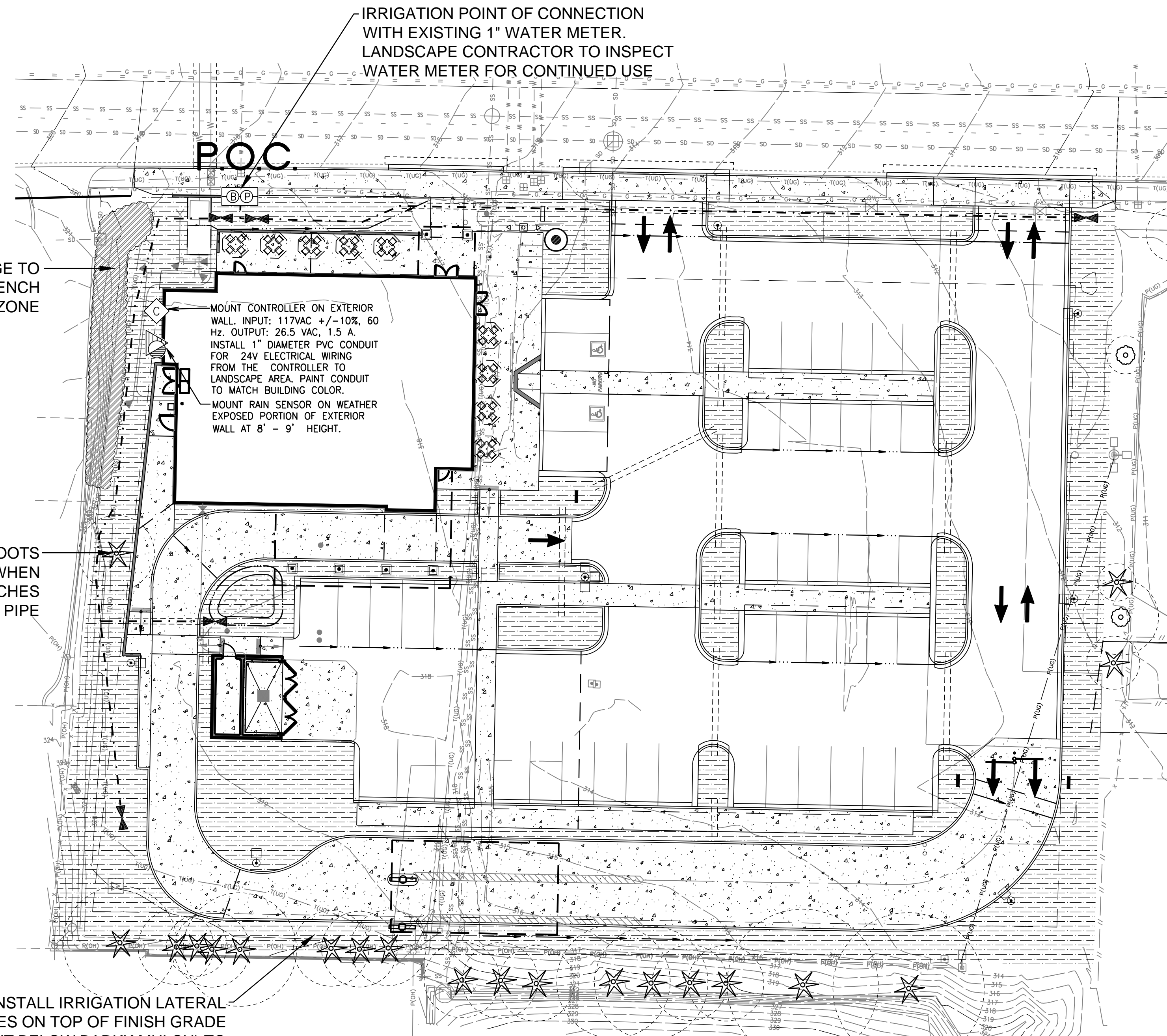
Date : 3-10-17

Drawn By : JMV

Checked By : JMV

Sheet

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IRRIGATION LEGEND

SYMBOL DRIP EMITTER

HUNTER LANDSCAPE DRIPLINE COMPONENTS WITH HUNTER COMPRESSION FITTINGS AND ADAPTERS ICZ-101-LF WITH 40 PSI PRESSURE REGULATOR
PLD-04-18-250 DRIP EMITTER TUBING 0.40 GALLONS PER HOUR FLOW, EMITTERS 18" O.C.
AIR/VACUUM RELIEF RELIEF VALVE KIT, IN VALVE BOX
GALVANIZED TIE-DOWN STAKES, AT 3' ON CENTER

SYMBOL MANUFACTURER

DRIP IRRIGATION: HUNTER ICZ-101-LF VALVE ONE VALVE PER BOX

HUNTER SOLAR SYNC WIRED RAIN SENSOR. COORDINATE RAIN SENSOR LOCATION WITH ARCHITECT. INSTALL EXPOSED TO WEATHER

HUNTER PRO-C 12-STATION (HARDWIRE CONNECTION); PROVIDE GROUND AND BATTERIES PER MFR. SPECS. EXTERIOR MOUNT TO BUILDING. COORDINATE LOCATION WITH GENERAL CONTRACTOR, AND ELECTRICIAN

HUNTER 3/4" QUICK COUPLING VALVE, IN VALVE BOX, WITH (2) KEYS AND SWIVELS

PLASTIC BALL VALVE, MATCH LINE SIZE, IN VALVE BOX

P.O.C. IRRIGATION POINT OF CONNECTION: CONNECTION TO EXISTING 1" WATER METER WITH A WILKINS 950 XLT- 1" DOUBLE CHECK VALVE (STATE APPROVED); TEST AND CERTIFICATION BY LICENSED BACKFLOW TESTER. WILKINS 850 - BALL VALVE, SIZE TO MATCH PIPE

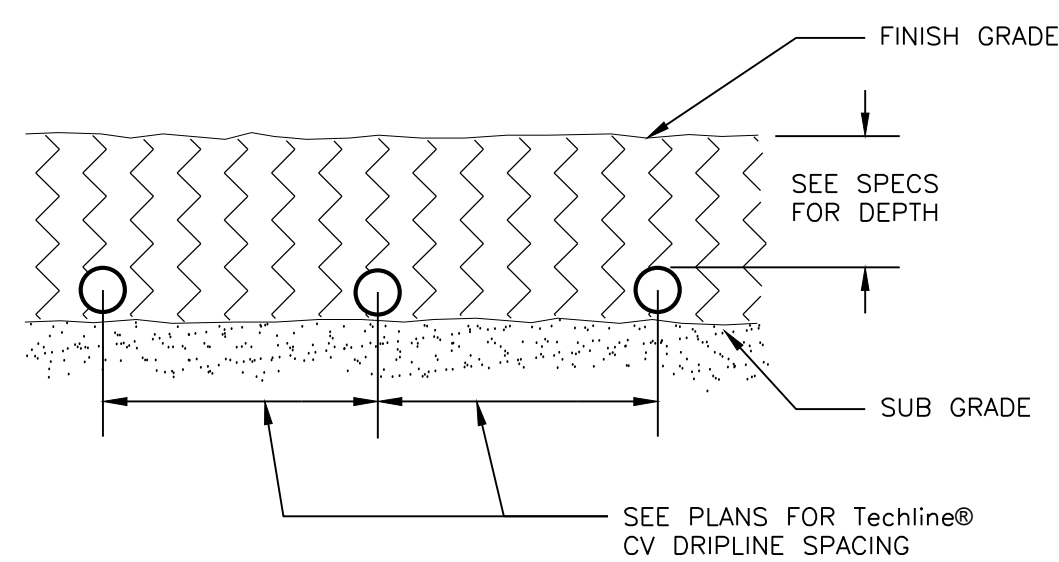
--- MAINLINE - SCH 40 PVC (18" COVER); SIZE PER PLAN, 1-1/2" SIZE MINIMUM
--- LATERAL - SCH 40 PVC (12" COVER); SIZE PER PLAN, 3/4" SIZE MINIMUM
--- SLEEVE - CLASS 200 PVC; 24" MINIMUM COVER AT VEHICLE CROSSINGS, TWICE THE SIZE OF INSERT PIPE AND/OR WIRES, 4" SIZE MINIMUM

IRRIGATION SHOWN DIAGRAMATICALLY FOR PLAN CLARITY. COMMON TRENCH AND PLACE EQUIPMENT IN LANDSCAPE; MANIFOLD GROUPED VALVES IN ADJACENT SHRUB AREAS WHERE FEASIBLE.
ALL IRRIGATION CONNECTIONS AND FITTINGS SHALL BE LEAD-FREE

SCH 40 PIPE SIZING CHART

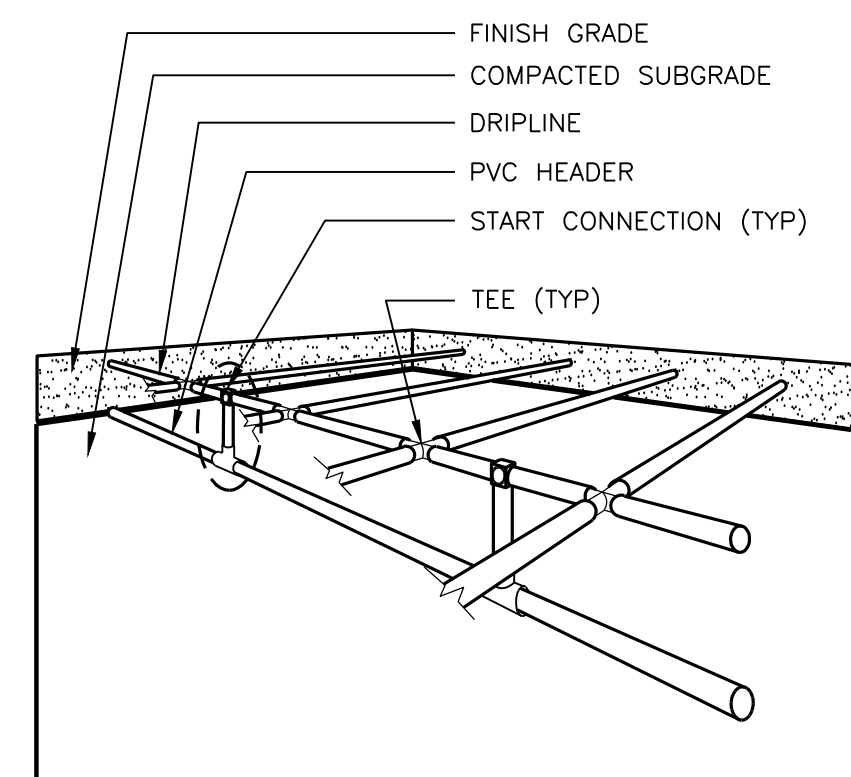
PIPE SIZE	3/4"	1"	1 1/4"	1 1/2"	2"	2 1/2"
FLOW GPM	1-8	8.1-13	13.1-23	23.1-32	32.1-53	53.1-74 GPM (MAX.)

INSTALL IRRIGATION LATERAL LINES ON TOP OF FINISH GRADE (BUT BELOW BARK MULCH) TO AVOID DAMAGE TO TREE ROOTS



SUBGRADE INSTALLATION

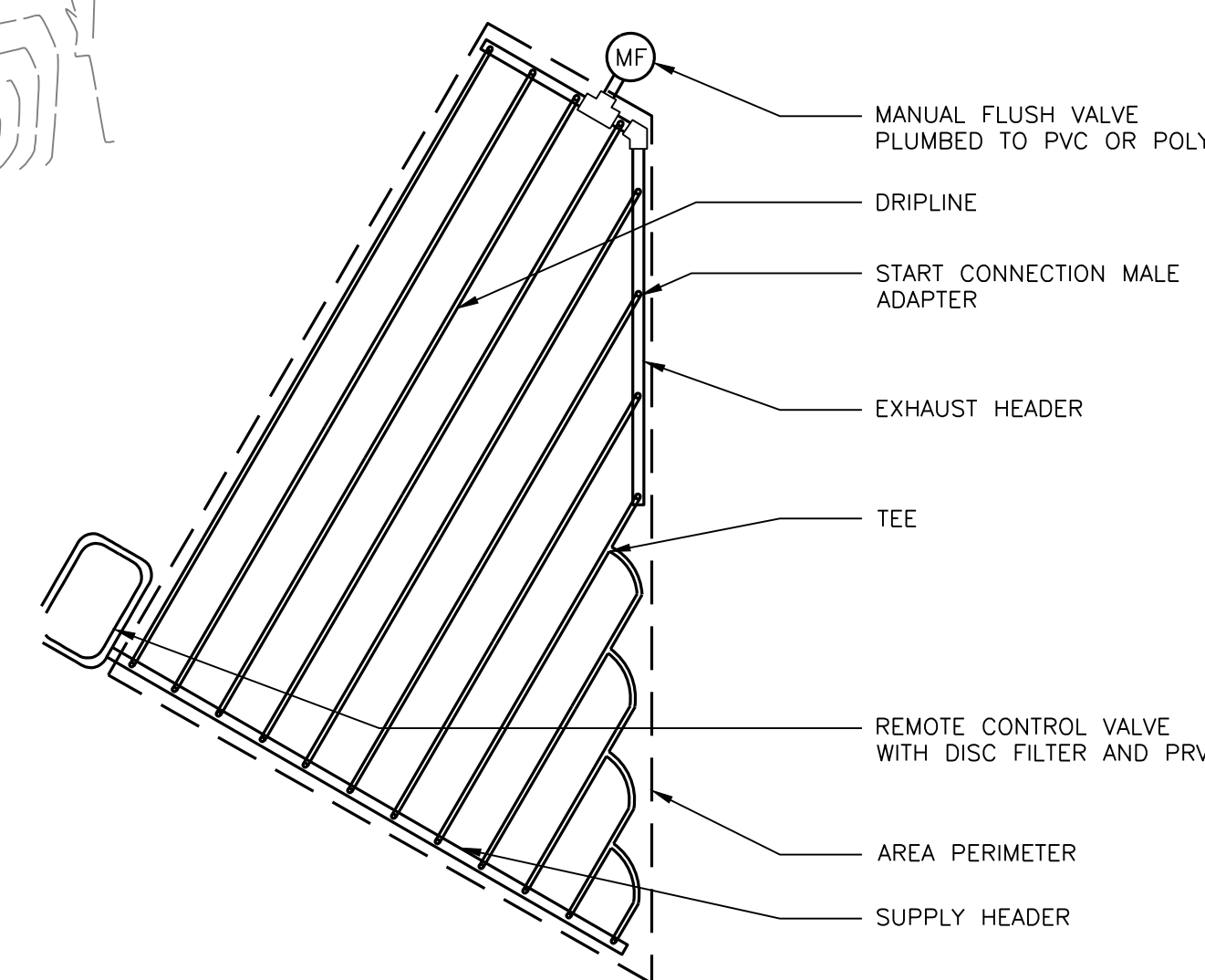
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NOTE:
1. SEE PLANS AND LEGEND FOR ALL DIMENSIONS AND DRIPLINE SPACING.
2. RATIO OF DRIPLINES TO START CONNECTIONS IS SHOWN AT 2:1, BUT MAY VARY PER HYDRAULIC DEMAND ON START CONNECTIONS. SEE PLANS AND LEGEND.

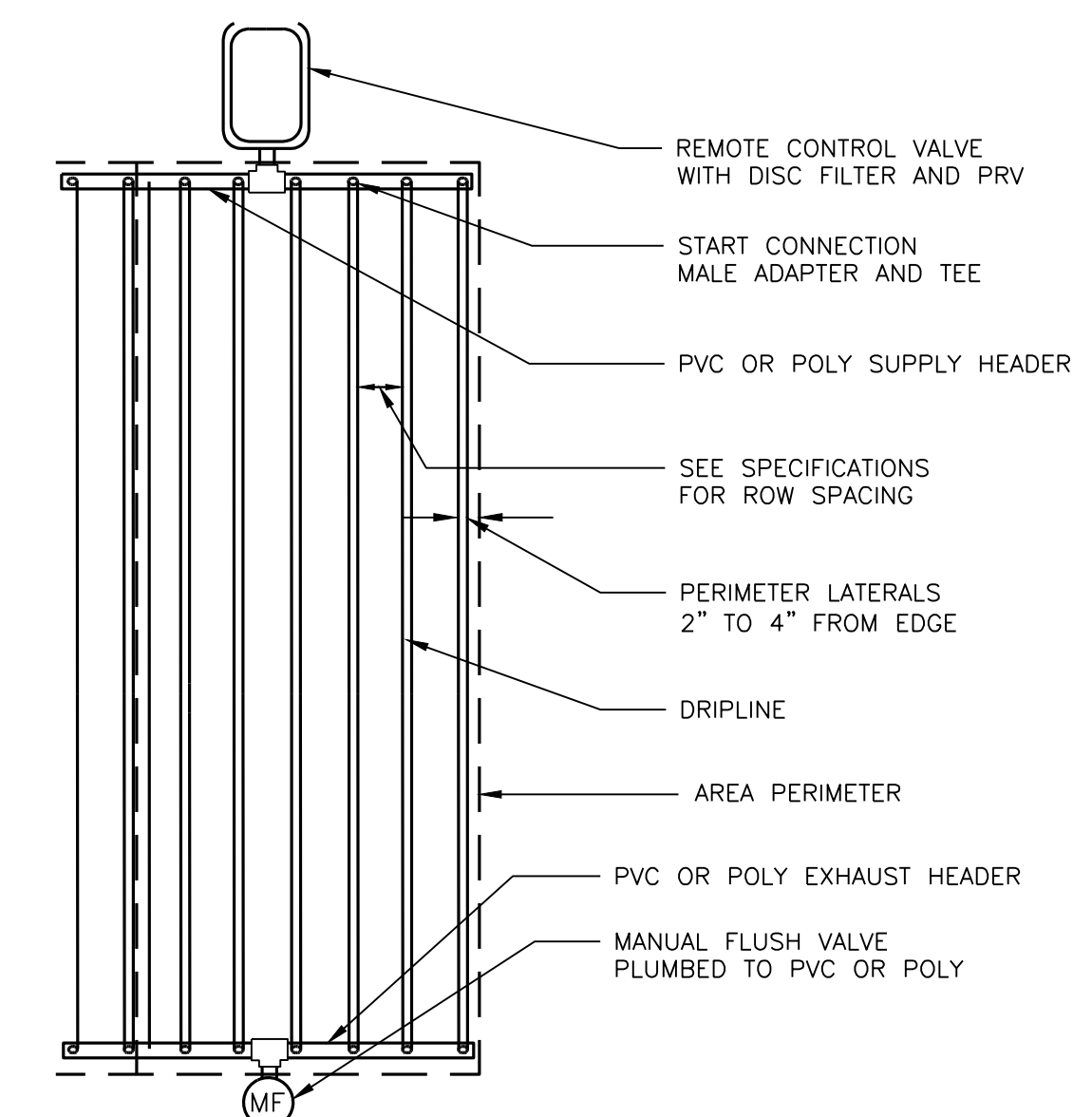
SUB-HEADER INSTALLATION

NOT TO SCALE



IRREGULAR AREAS: Triangular

NOT TO SCALE



DRIPLINE FEED LAYOUT

NOT TO SCALE



Know what's below.
Call before you dig.
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XXX-XXXXXXXX-XX

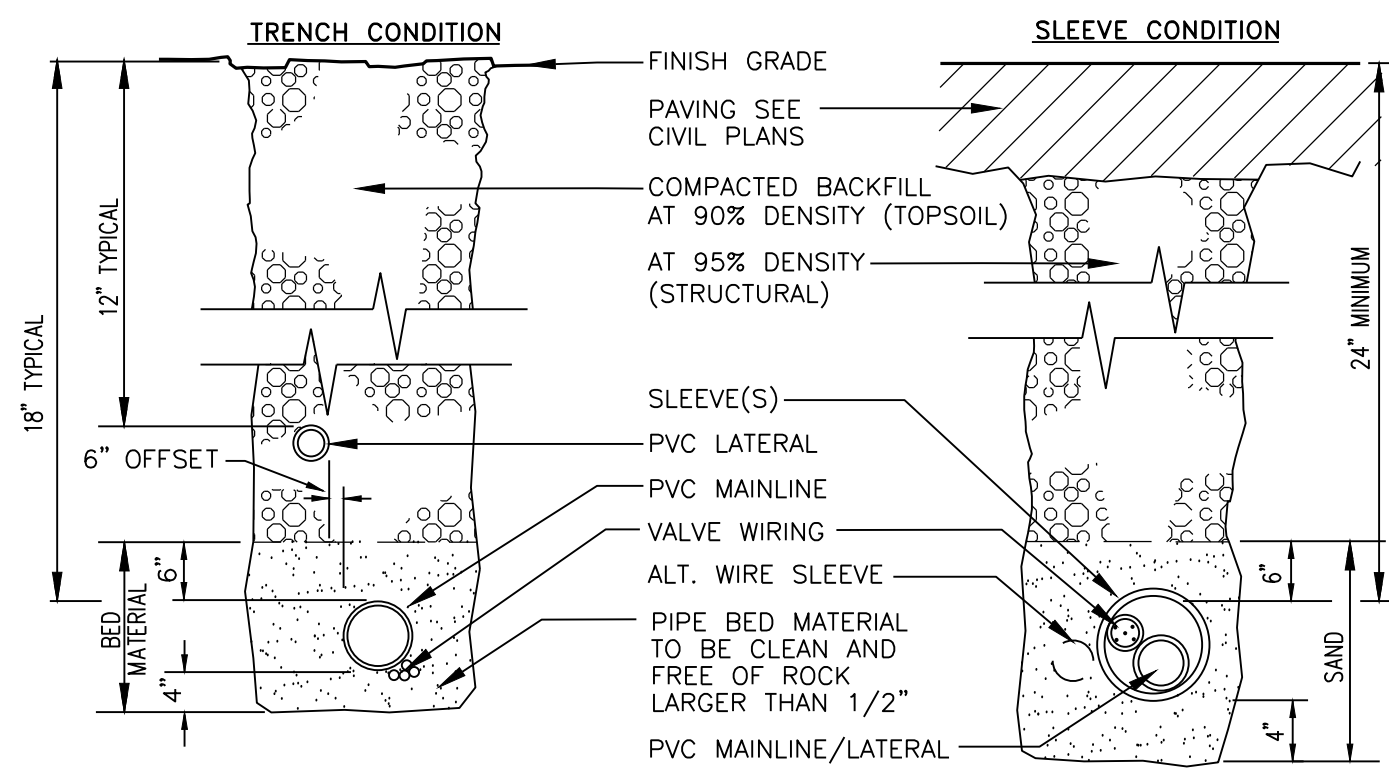
APPROVED FOR CONSTRUCTION

BY _____
CITY ENGINEER

DATE _____

TREE RETENTION, LANDSCAPE and IRRIGATION SET FOR CHICK-FIL-A FIRCREST

SECTION 11, TWP. 20 N., RGE 2 EAST, W. M.
CITY OF FIRCREST, PIERCE COUNTY, STATE OF WASHINGTON



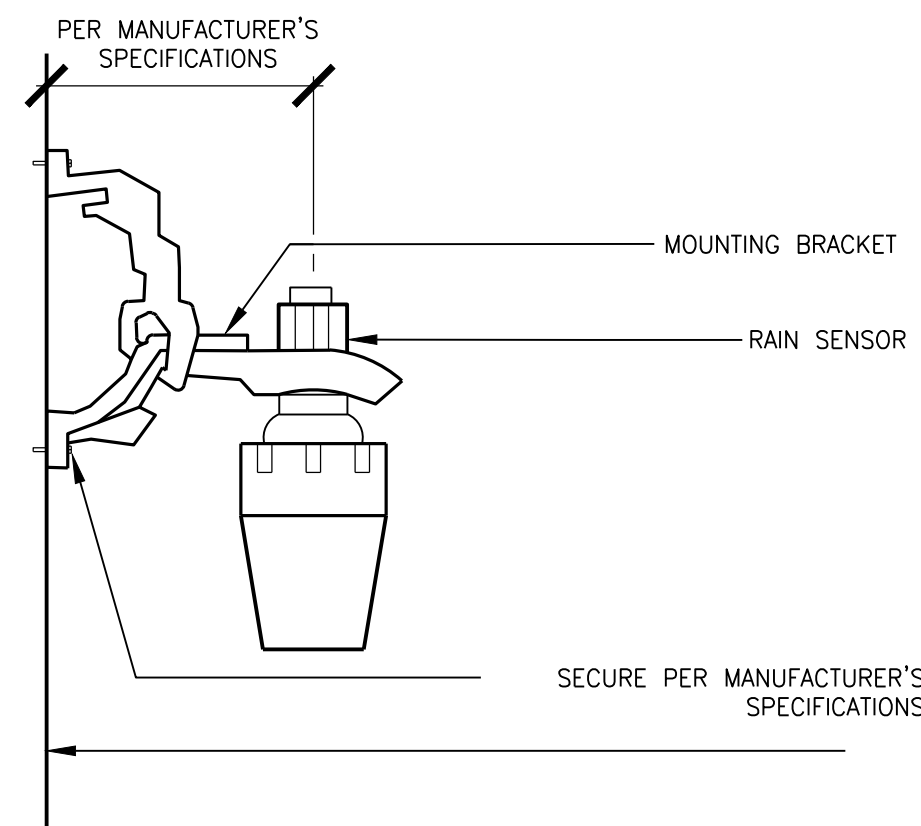
NOTE:
DIMENSIONS ARE MINIMUM CLEARANCES.
ALL IRRIGATION SLEEVING TRENCH BACKFILL MATERIAL TO BE CLASS "B" OR BETTER (MAX. OF 10% PASSING NO.40 SCREEN) AND BE COMPACTED TO MIN. 95% OPTIMUM DENSITY PER ASTM D-1557-70 (MODIFIED PROCTOR)

SLEEVE/TRENCHING DETAIL

NOT TO SCALE

LANDSCAPE IRRIGATION NOTES

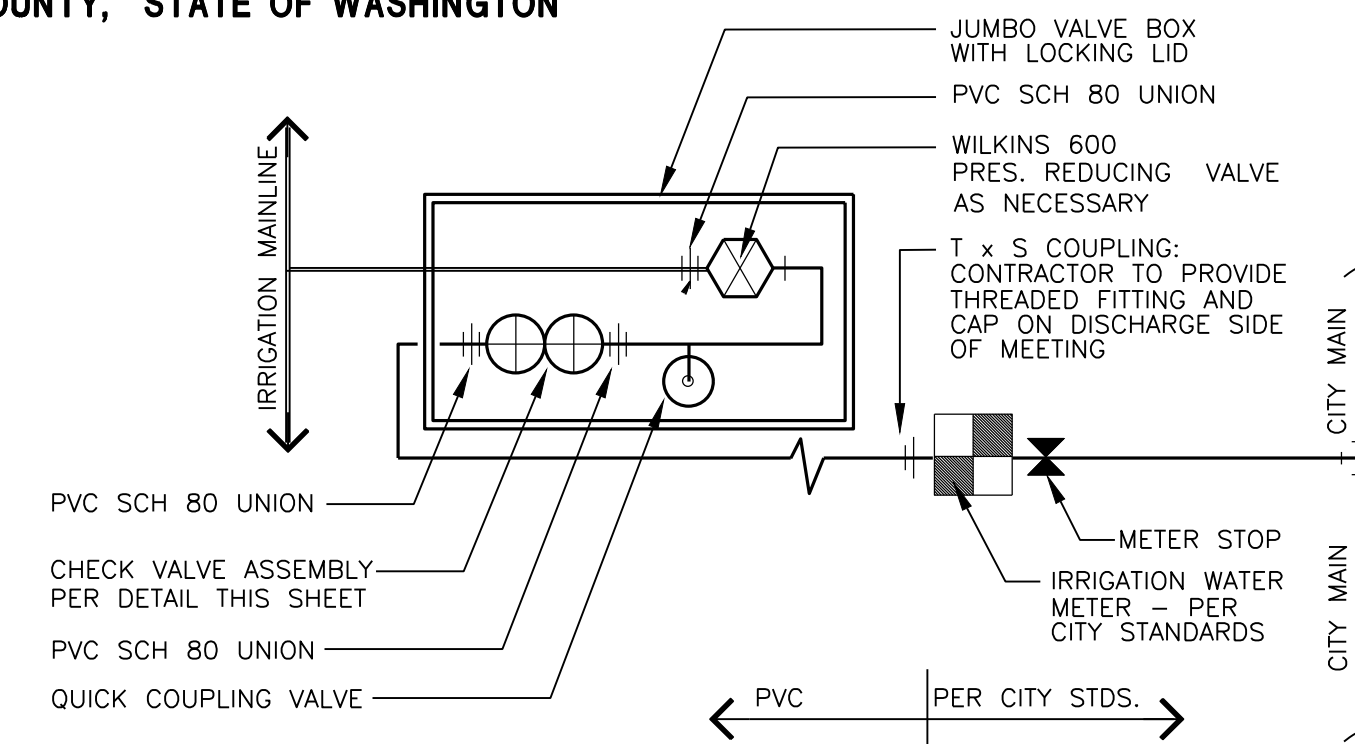
- GENERAL CONTRACTOR AND LANDSCAPE CONTRACTOR TO COORDINATE:
 - INSTALLATION OF 110V ELECTRICAL SERVICE FROM ELECTRICAL SOURCE TO AUTOMATIC CONTROLLER, INCLUDING WIRE HOOK-UP INTO MOUNTED CONTROLLER. IRRIGATION CONTRACTOR WILL MOUNT CONTROLLER PER DESIGN AND COORDINATE WITH GENERAL CONTRACTOR.
 - INSTALLATION OF IRRIGATION/SERVICE METER AND STUB TO IRRIGATION POINT OF CONNECTION. PER UTILITY PLAN(S), UNLESS AN EXISTING METER IS USED. PROVIDE STANDARD THREADED STUB-OUT WITH THREADED CAP ON DISCHARGE SIDE OF METER. STUB-OUT TO BE INSTALLED APPROXIMATELY 18 INCHES BELOW FINISH GRADE.
 - VERIFICATION OF STATIC WATER PRESSURE AT POINT-OF-CONNECTION (P.O.C.) CONTRACTOR SHALL NOTIFY OWNER AND BARGHAUSEN CONSULTING ENGINEERS, INC., OF ANY VARIATION IN STATIC PRESSURE OVER 5 PSI GREATER/LESS THAN DESIGN PRESSURE.
 - INSTALLATION OF SLEEVING.
- PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, AND SERVICES NECESSARY TO FURNISH AND INSTALL A COMPLETE IRRIGATION SYSTEM AS INDICATED ON THE DRAWINGS AND/OR NOTES. PROVIDE A ONE (1) YEAR WARRANTY/GUARANTEE FROM FINAL ACCEPTANCE AGAINST ALL DEFECTS IN MATERIALS, EQUIPMENT, AND WORKMANSHIP.
- COORDINATE IRRIGATION INSTALLATION WITH GENERAL CONTRACTOR, ELECTRICAL CONTRACTOR, LANDSCAPE CONTRACTOR, OWNER, ARCHITECT, AND LANDSCAPE ARCHITECT.
- LANDSCAPE CONTRACTOR TO TEST AVAILABLE WATER PRESSURE PRIOR TO BEGINNING ANY WORK. PROVIDE LANDSCAPE ARCHITECT WITH WRITTEN PSI RESULTS.
- ALL WORK PER LOCAL CODE. INSTALLATION PER MANUFACTURER'S WRITTEN SPECIFICATIONS.
- CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS, FEES, AND REQUIRED CITY INSPECTIONS.
- SUBMITTALS:
 - SUBMIT FIVE (5) COPIES OF EACH ITEM LISTED BELOW FOR LANDSCAPE ARCHITECT'S REVIEW AND APPROVAL.
 - PRODUCT DATA: FOR EACH TYPE OF PRODUCT INDICATED.
 - CONTROL WIRING PATH DIAGRAM.
 - "AS-BUILT" DRAWINGS.
 - OPERATION AND MAINTENANCE MANUALS.
- PROVIDE AND KEEP UP TO DATE A COMPLETE "AS-BUILT" RECORD SET OF PRINTS WHICH ARE TO BE CORRECTED DAILY AND SHOW EVERY CHANGE FROM THE ORIGINAL DRAWINGS AND NOTES AND EXACT "AS-BUILT" LOCATIONS, SIZES AND KIND OF EQUIPMENT. THIS SET OF DRAWINGS ARE TO BE KEPT ON SITE AND ARE TO BE USED ONLY AS THE RECORD SET. ALL WORK IS TO BE NEAT AND LEGIBLE ANNOTATIONS THEREON DAILY AS THE WORK PROCEEDS, SHOWING WORK AS ACTUALLY INSTALLED.
 - CONNECTION TO WATER LINES (P.O.C.).
 - CONNECTIONS TO ELECTRICAL POWER.
 - GATE VALVE, QUICK COUPLERS, AND REMOTE CONTROL VALVE.
 - ROUTING OF MAINLINE (DIMENSION MAXIMUM 100' ALONG ROUTING).
 - ROUTING OF CONTROL WIRING.
 - OTHER RELATED EQUIPMENT AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- PREPARE AND PROVIDE PRIOR TO COMPLETION OF CONSTRUCTION, A THREE RING BINDER CONTAINING THE FOLLOWING INFORMATION:
 - INDEX SHEET STATING CONTRACTOR'S ADDRESS, TELEPHONE NUMBER, FAX, E-MAIL AND A LIST OF EQUIPMENT WITH NAME AND ADDRESS OF LOCAL MANUFACTURER'S REPRESENTATIVES.
 - CATALOG AND PARTS SHEETS ON EVERY MATERIAL AND EQUIPMENT INSTALLED UNDER THIS CONTRACT.
 - GUARANTEE STATEMENT.
 - COMPLETE OPERATING AND MAINTENANCE INSTRUCTIONS ON ALL MAJOR EQUIPMENT.
 - CONSTRUCTION DETAILS FROM THE PROJECT.
 - COMPLETE TROUBLE-SHOOTING GUIDE TO COMMON IRRIGATION PROBLEMS.
 - WINTERIZATION AND SPRING START-UP PROCEDURES.
 - CHART OF APPROXIMATE WATERING TIMES FOR SPRING, SUMMER, AND FALL.
 - A COPY OF THE "AS-BUILT" DRAWINGS AND CONTROLLER CHART.



NOTE:
MOUNT ON WEATHER EXPOSED WALL 8" ABOVE GRADE

RAIN SENSOR DETAIL

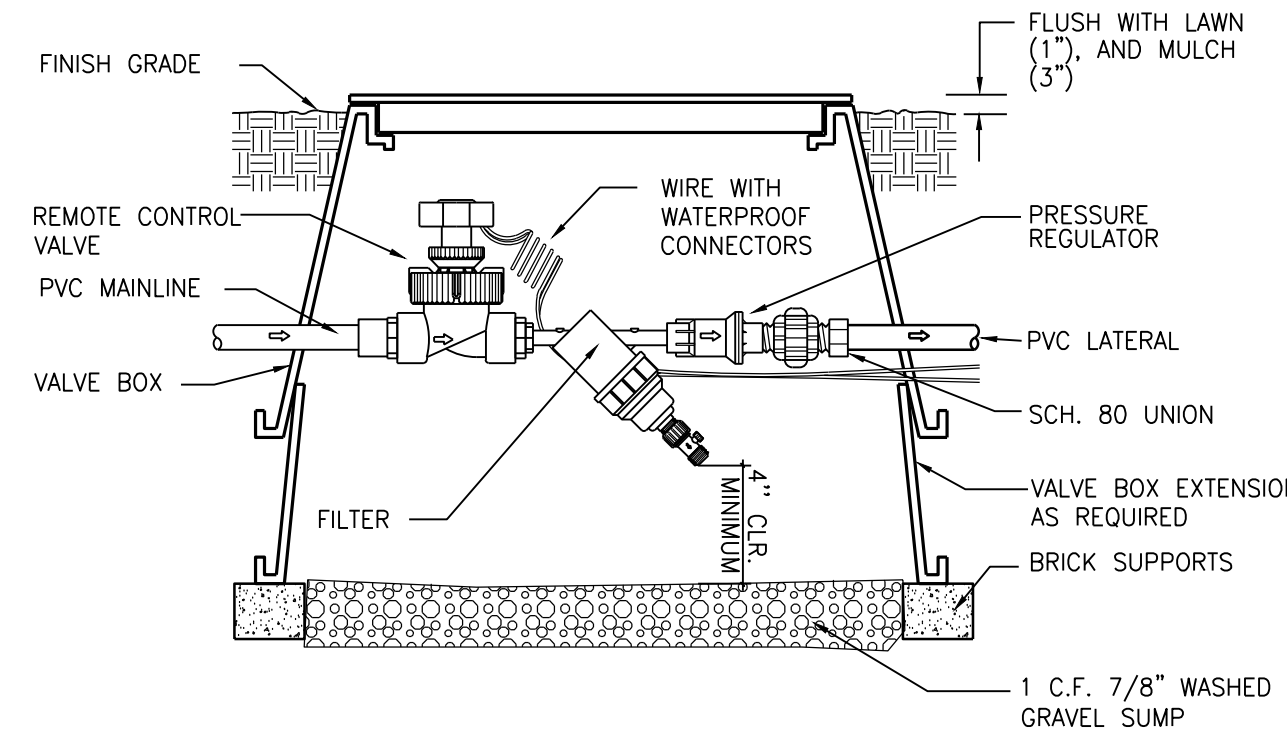
NOT TO SCALE



NOTE:
THE BACKFLOW DEVICE TO HAVE 6" MINIMUM UNOBSTRUCTED CLEARANCE ON ALL SIDES

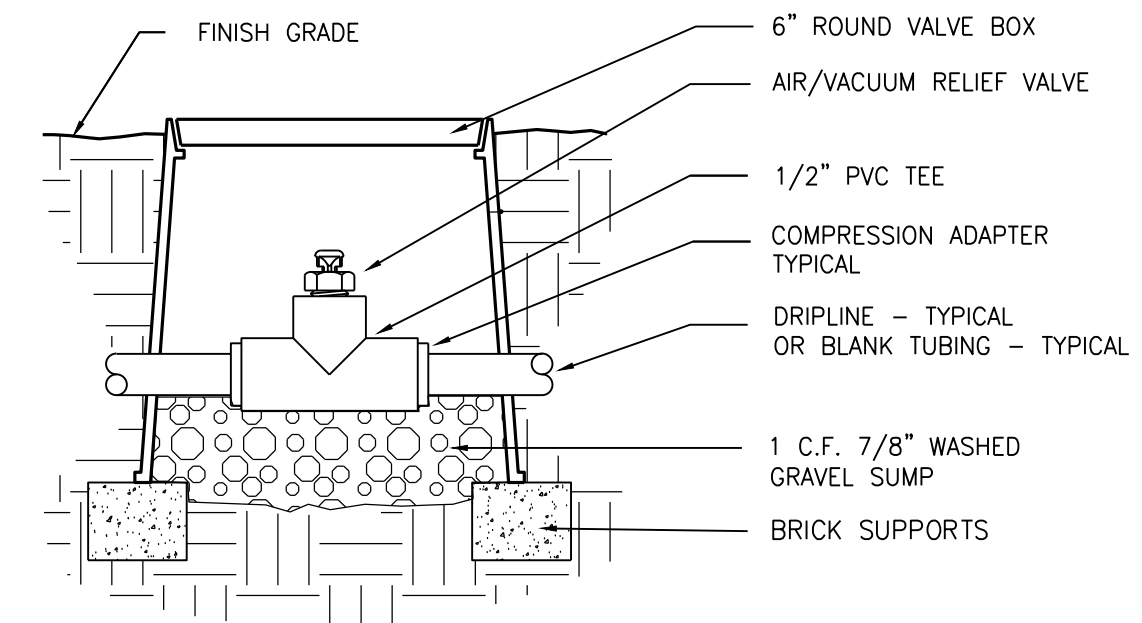
POINT OF CONNECTION (P.O.C.) DETAIL

NOT TO SCALE



REMOTE CONTROL VALVE, PRESSURE REGULATOR AND FILTER DETAIL

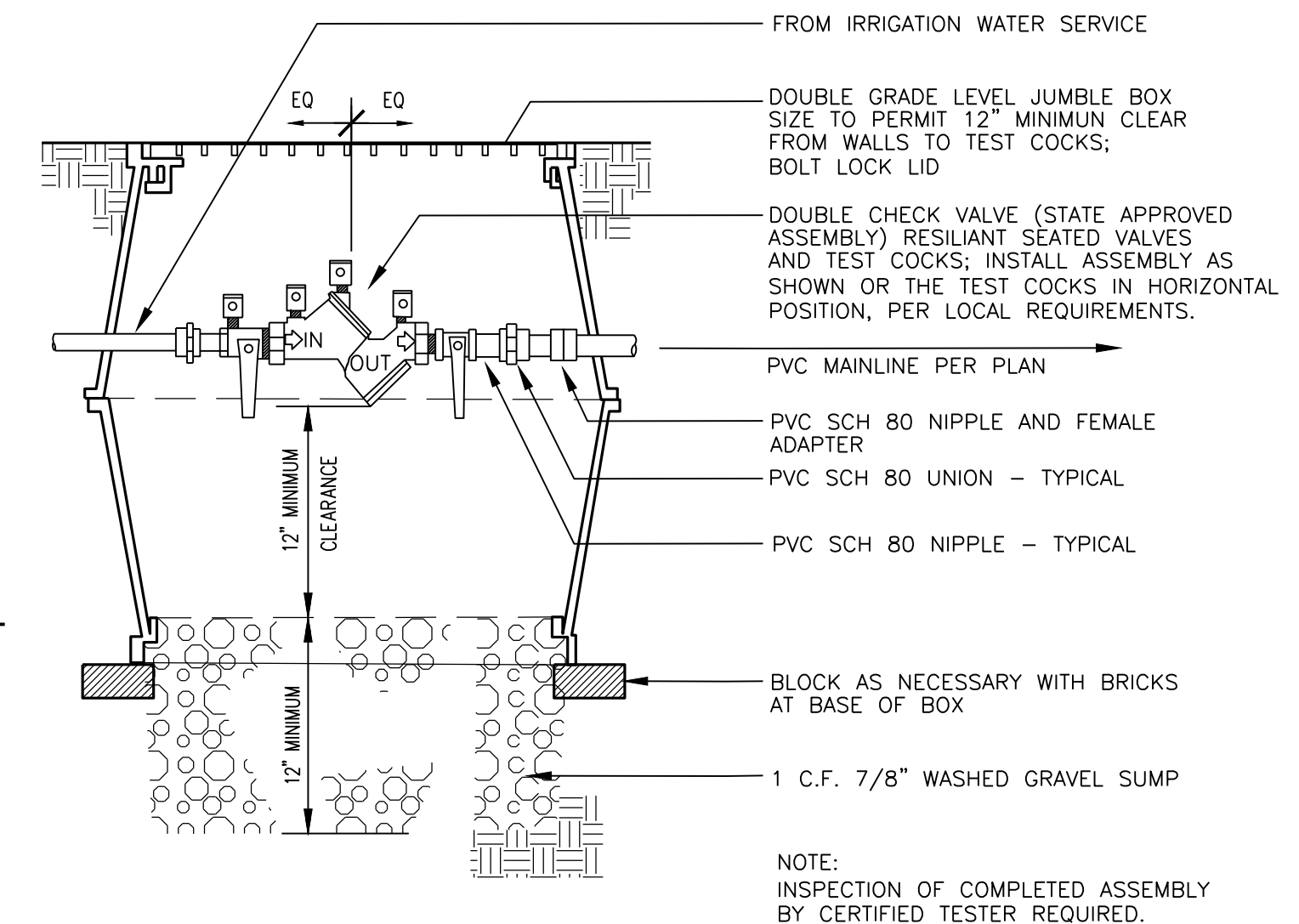
NOT TO SCALE



NOTE:
AIR/VACUUM RELIEF VALVE CANNOT BE CONNECTED LOWER THAN DRIPLINE LATERALS. FOR USE ON ZONES OF 7 GPM OR LESS ONLY (PLUMBED TO TUBING).

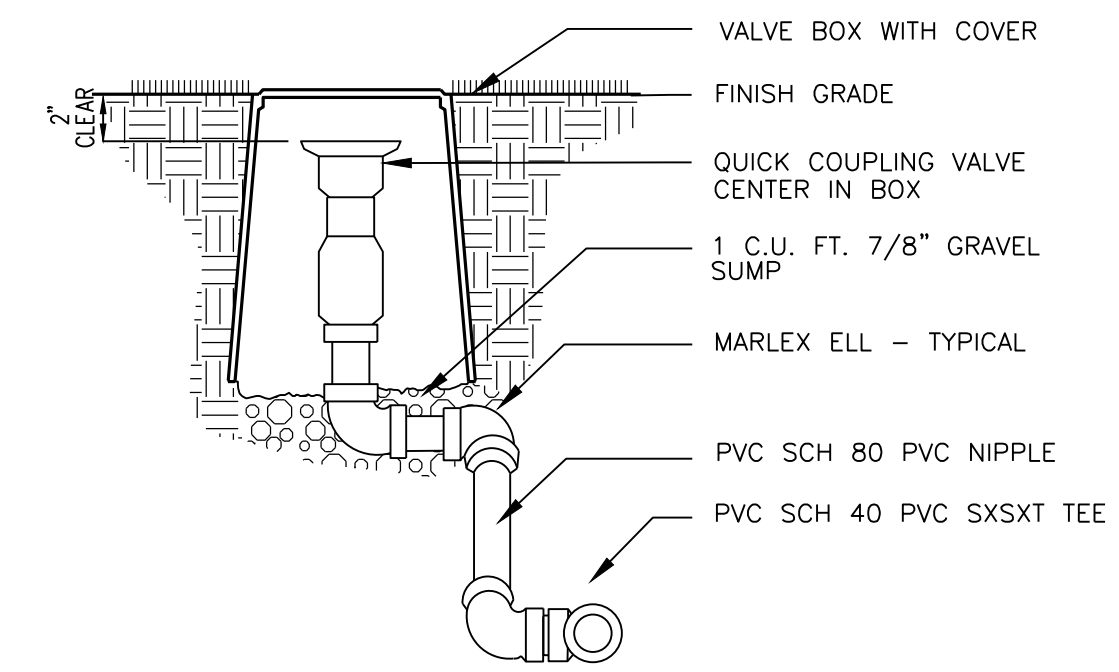
1/2" AIR/VACUUM RELIEF VALVE DETAIL

NOT TO SCALE



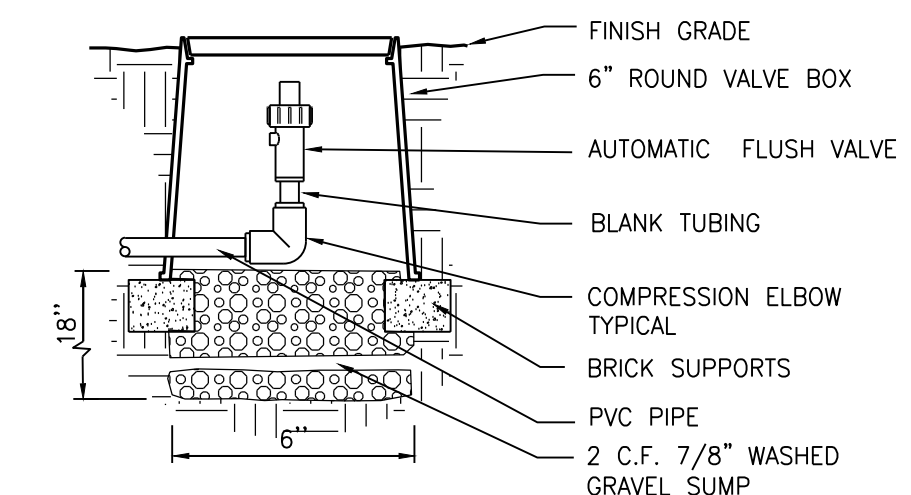
DOUBLE CHECK VALVE ASSEMBLY

NOT TO SCALE



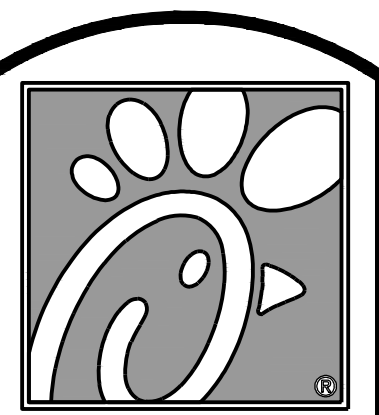
QUICK COUPLING VALVE ASSEMBLY

NOT TO SCALE



AUTOMATIC FLUSH VALVE DETAIL

NOT TO SCALE



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SURVEYING, ENVIRONMENTAL SERVICES



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FIRCREST FSR

6520 19TH ST WEST
TACOMA, WA

SHEET TITLE
IRRIGATION
NOTES and
DETAILS

VERSION:
ISSUE DATE:

Job No. : 16-199
Store : ---
Date : 3-10-17
Drawn By : JMV
Checked By : JMV

Sheet

31



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Call before you dig.
Dial 811

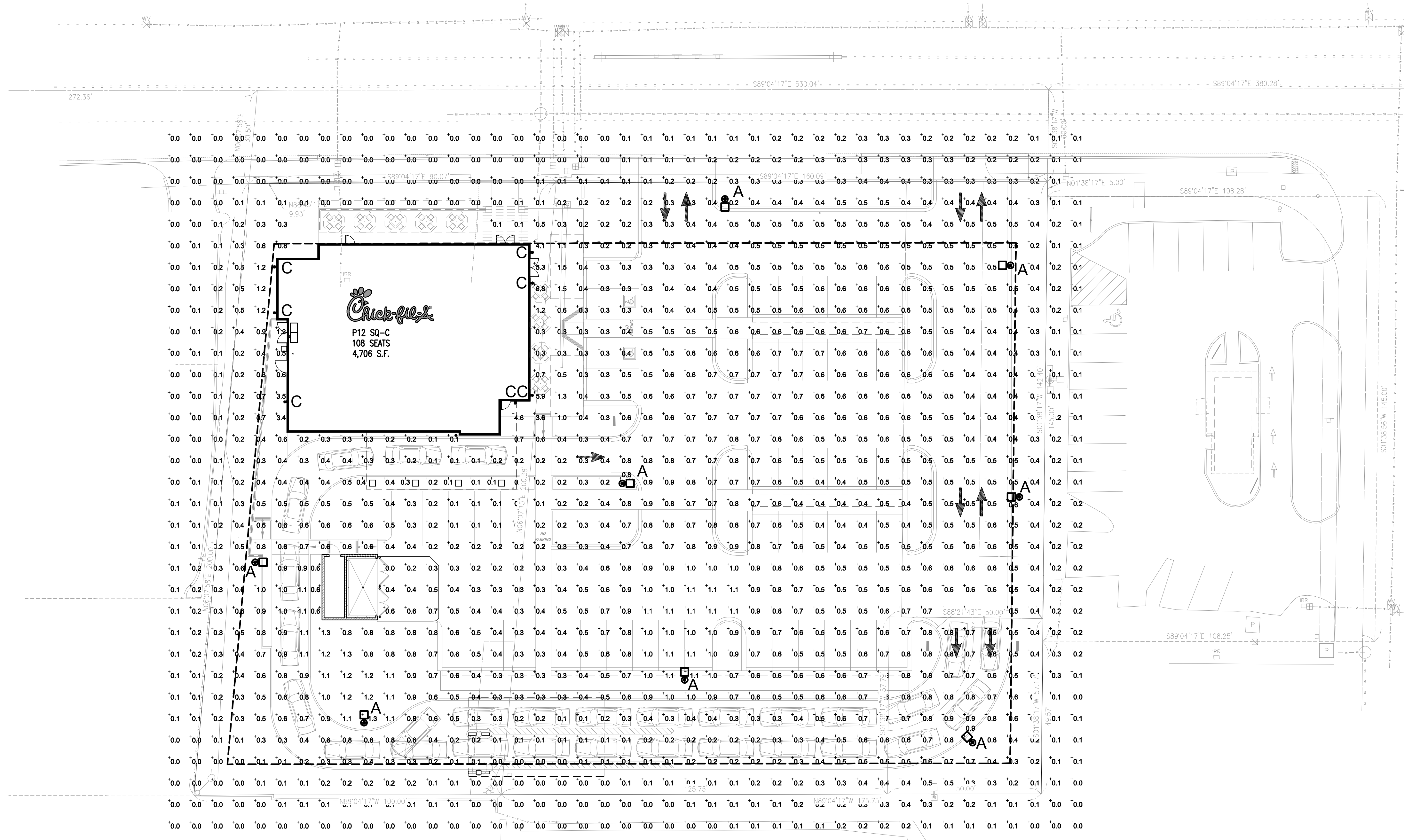
CITY OF FIRCREST FILE NO.
XXX-XXXXXXXX-XX

APPROVED FOR CONSTRUCTION

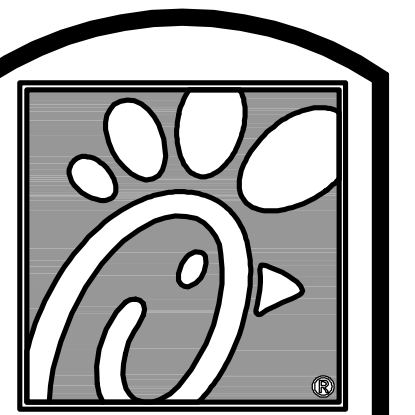
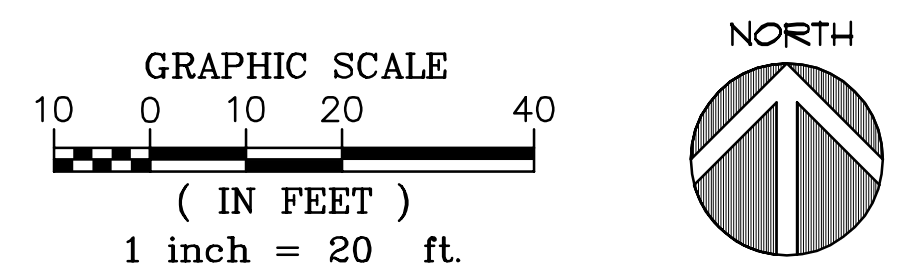
BY CITY ENGINEER

DATE

Symbol	Label	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
☐	A	8	DSX0 LED P2 30K TFTM MVOLT HS 25'-0" A.F.F.	DSX0 LED P2 30K TFTM MVOLT with houseside shield	LED	1	4353	0.75	49
	B		NOT USED						
○	C	7	P5675-3030K 8'-0" A.F.F.	8" DIAMETER UP/DOWN WALL MOUNT LED CYLINDER	40- Nichia 3000K LEDs	1	1616	0.9	32.9



PHOTOMETRIC SITE PLAN
1" = 20'-0"



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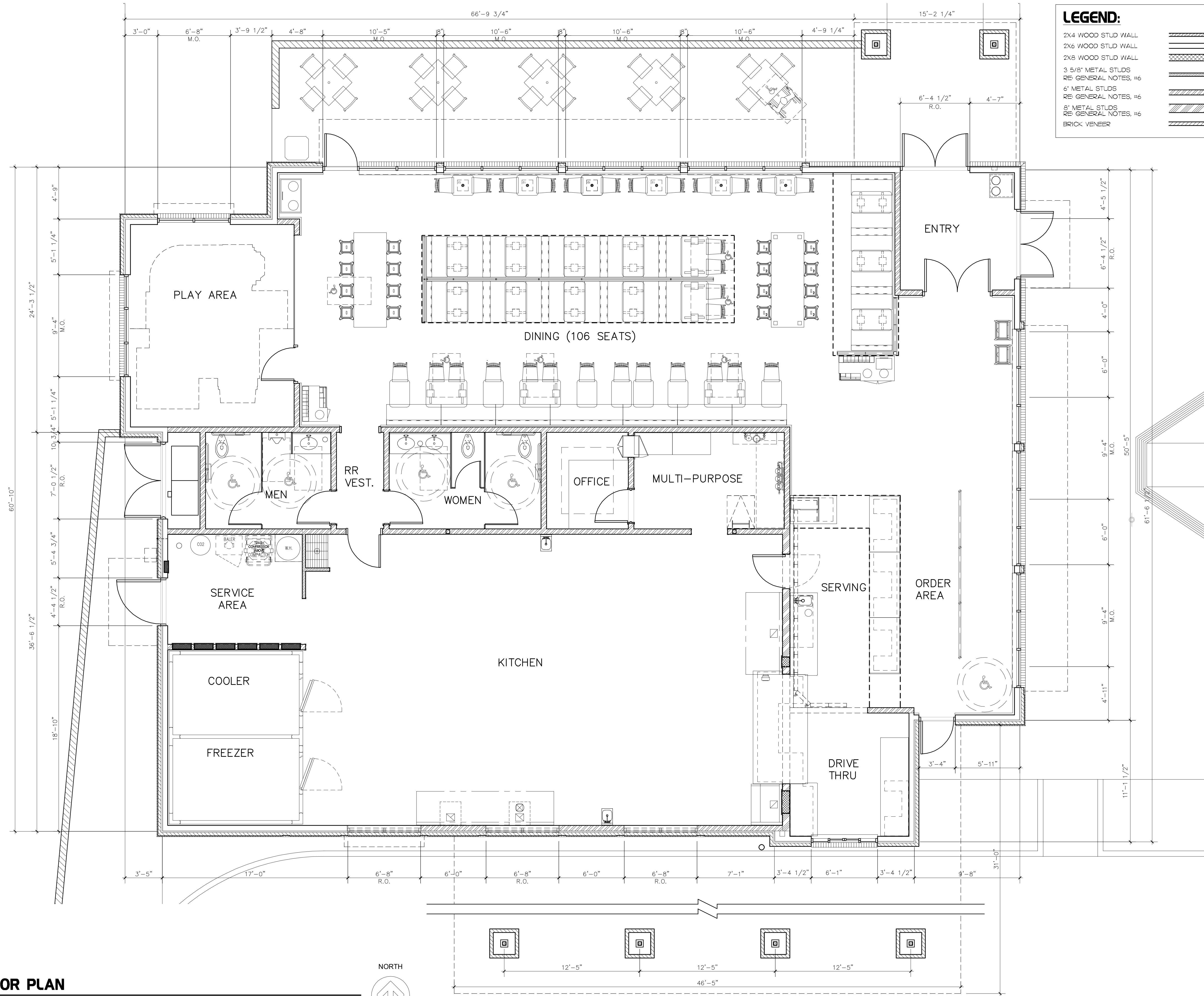
6520 19TH ST WEST
FIRCREST, WA

SHEET TITLE
PHOTOMETRIC
SITE PLAN

VERSION: SQ-C V7
ISSUE DATE: 02-2017

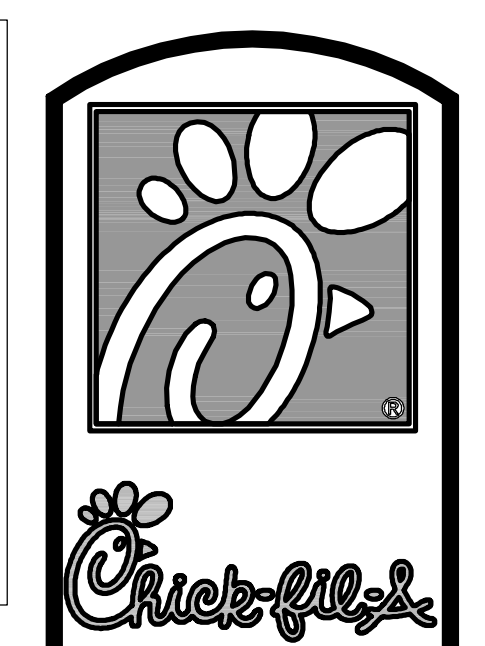
Job No. : 16-199
Store : 04046
Date : 7-11-18
Drawn By : AL
Checked By: RH

Sheet
PH-I



LEGEND:

2X4 WOOD STUD WALL	
2X6 WOOD STUD WALL	
2X8 WOOD STUD WALL	
3 5/8" METAL STUDS RE: GENERAL NOTES, #6	
6" METAL STUDS RE: GENERAL NOTES, #6	
8" METAL STUDS RE: GENERAL NOTES, #6	
BRICK VENEER	



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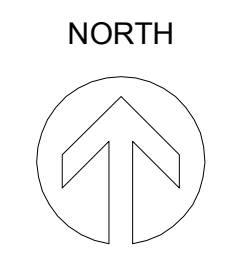
SHEET TITLE
FLOOR PLAN

VERSION: SQ-C V7
ISSUE DATE: 02-2017




Job No. : 16-199
Store : 04046
Date : 02-14-18
Drawn By :
Checked By: .R.H.



Sheet
A-1.A

1 FLOOR PLAN
1/4"



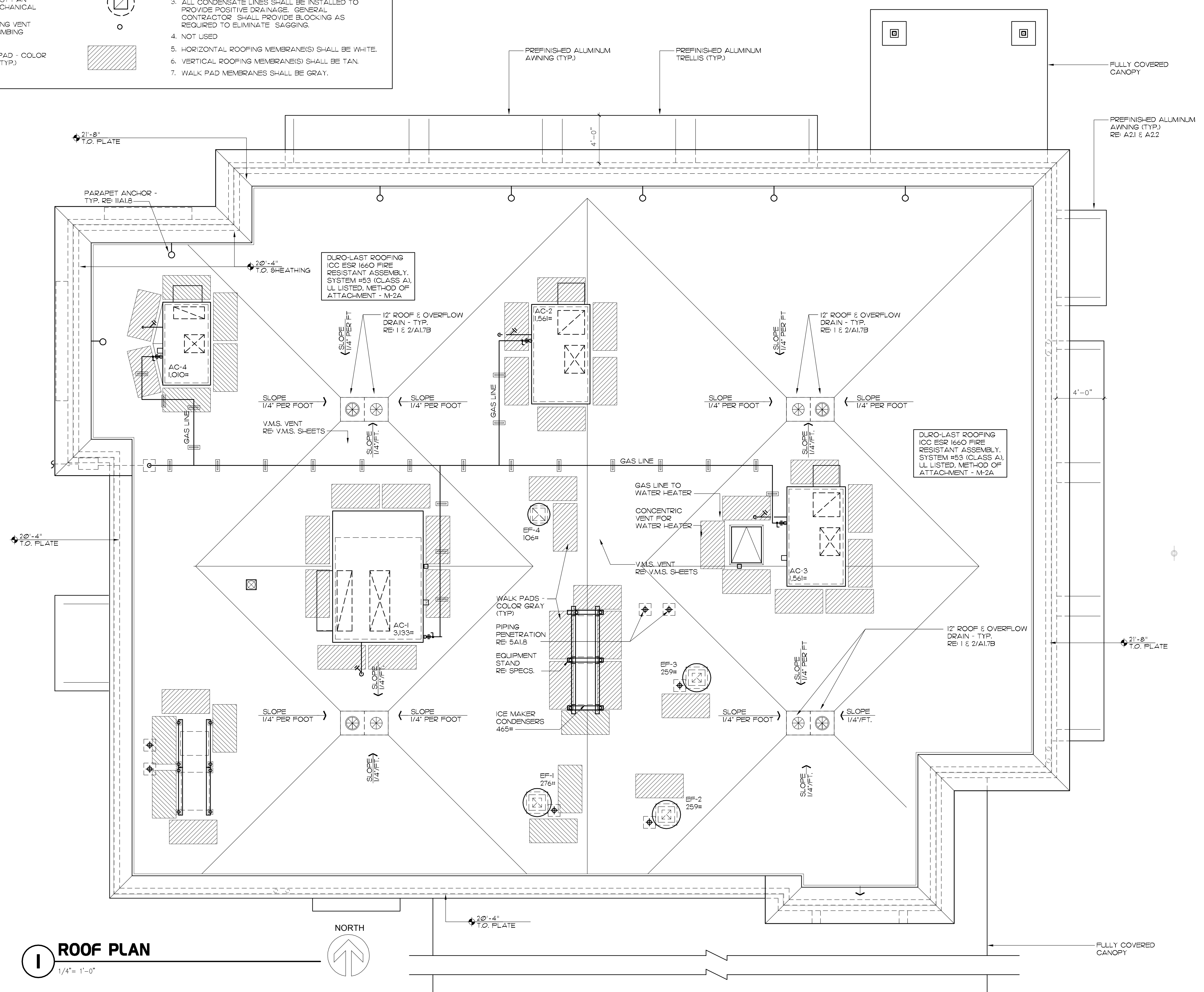
LEGEND:

- 3/8" X 4 1/2" EYE SCREW ANCHORS (INSTALL 2X SOLID BLOCKING BETWEEN STUDS TO ATTACH ANCHORS) RE: IIA1.8 
- PIPE SUPPORTS: PROVIDE PIPE SUPPORTS AS SHOWN ON PLUMBING WITH WEAR PAD BY ROOFING MANUFACTURER 
- PIPING PENETRATION REFRIGERATION/ELECTRICAL RE: 5A1.8 

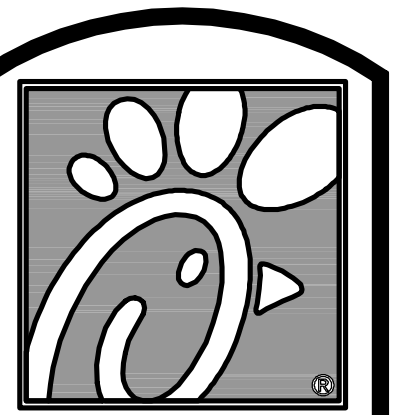
- WATER HEATER FLUE 
- COMBUSTION AIR VENTS RE: MECHANICAL 
- EXHAUST FAN RE: MECHANICAL 
- PLUMBING VENT RE: PLUMBING 
- WALK PAD - COLOR GRAY (TYP.) 

GENERAL NOTES:

1. CRICKETS SHALL BE CONSTRUCTED OF RIGID INSULATION AS REQUIRED TO PROVIDE SLOPE OF 1/8" PER FOOT MIN.
2. PAINT ALL EXPOSED GAS PIPING ON ROOF MATTE BLACK (2 COATS).
3. ALL CONDENSATE LINES SHALL BE INSTALLED TO PROVIDE POSITIVE DRAINAGE. GENERAL CONTRACTOR SHALL PROVIDE BLOCKING AS REQUIRED TO ELIMINATE SAGGING.
4. NOT USED
5. HORIZONTAL ROOFING MEMBRANE(S) SHALL BE WHITE.
6. VERTICAL ROOFING MEMBRANE(S) SHALL BE TAN.
7. WALK PAD MEMBRANES SHALL BE GRAY.



1 ROOF PLAN
1/4" = 1'-0"



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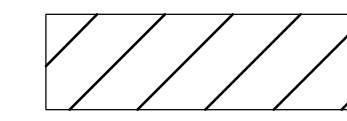
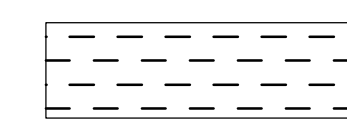
SHEET TITLE
ROOF PLAN

VERSION: SQ-C V7
ISSUE DATE: 02-2017

Job No. : 16-199
Store : 04046
Date : 02-14-18
Drawn By : A.L.
Checked By : R.H.

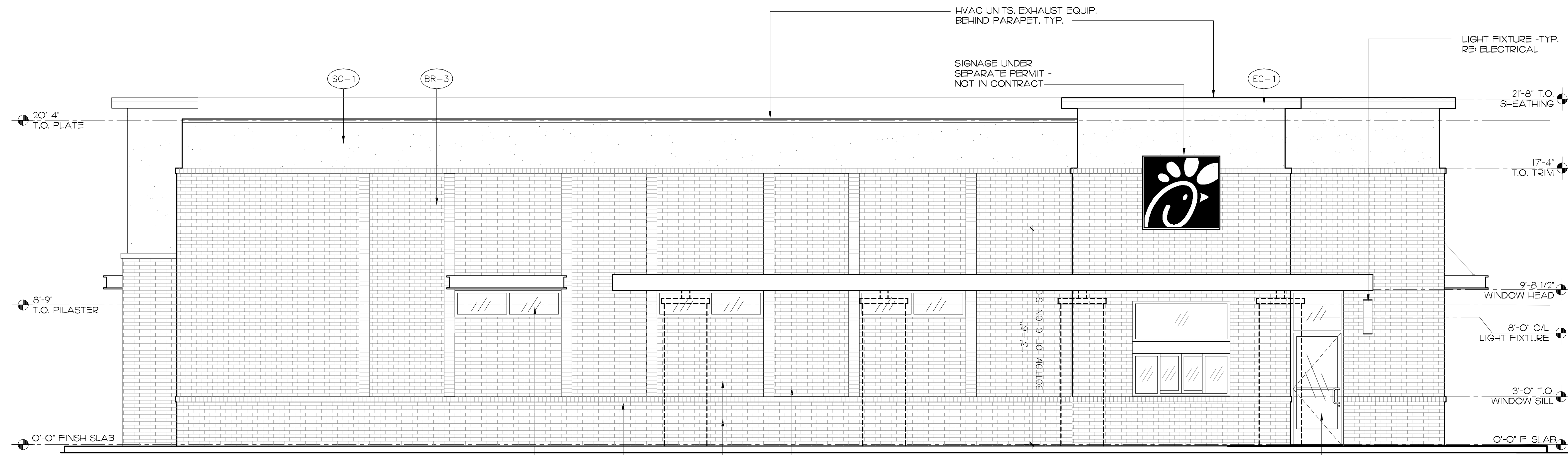
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A-1.7

LEGEND (GLAZING AREA CALCULATIONS)

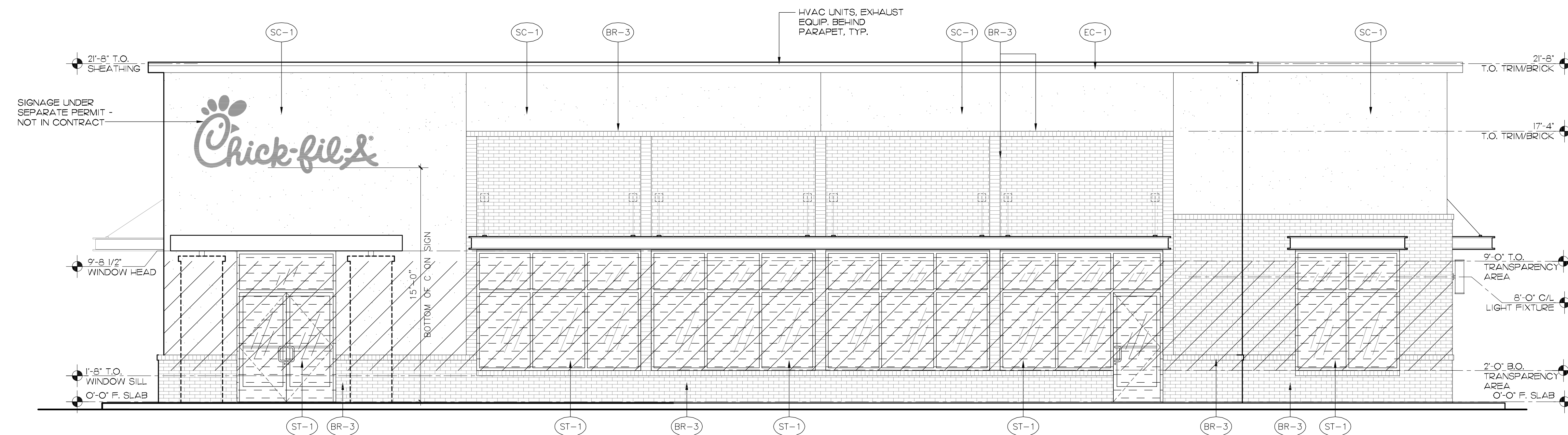
-  AREA BETWEEN THE HEIGHT OF 2 AND 9 FEET : 577 S.F. (100%)
-  GLAZING AREA PERCENTAGE: 440 S.F. (51%)

EXTERIOR FINISHES

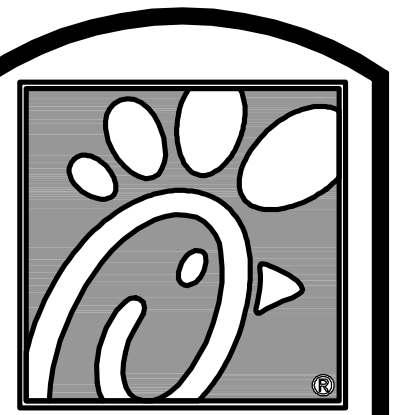
BR-3	BRICK VEER - BORAL BRICK MODULAR COLOR: CITADEL MORTAR: ARGOS SAN TAN	PT-9	PAINT #9 SHERWIN WILLIAMS - DARK BRONZE	ST-1	STOREFRONT YKK - YES 45 COLOR - DARK BRONZE (MATTE)
EC-1	PARAPET WALL COPING - DUROLAST / EXCEPTIONAL METALS COLOR: DARK BRONZE (MATTE)				
SC-1	STUCCO - STO POWERWALL WHITE FINISH - SAND MEDIUM				



1 SOUTH ELEVATION
N.T.S.



2 NORTH ELEVATION
N.T.S.



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3/30/18

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SHEET TITLE
EXTERIOR
ELEVATIONS

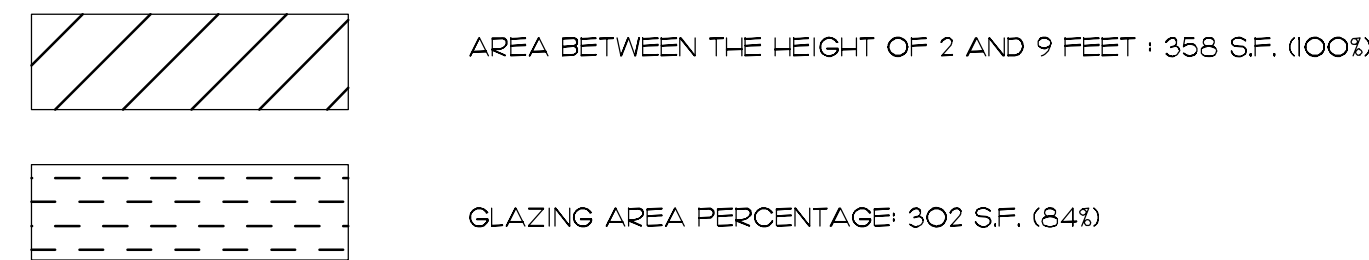
VERSION: SQ-C V7
ISSUE DATE: 02-2017

Job No. : 16-199
Store : 04046
Date : 02-14-18
Drawn By :
Checked By: R.H.

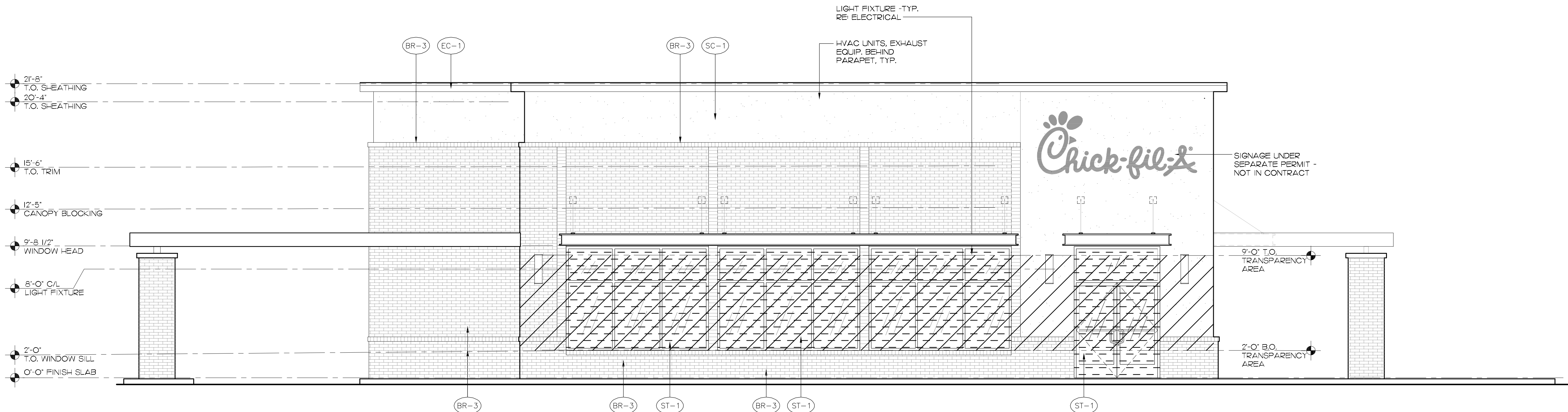
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A-2.I

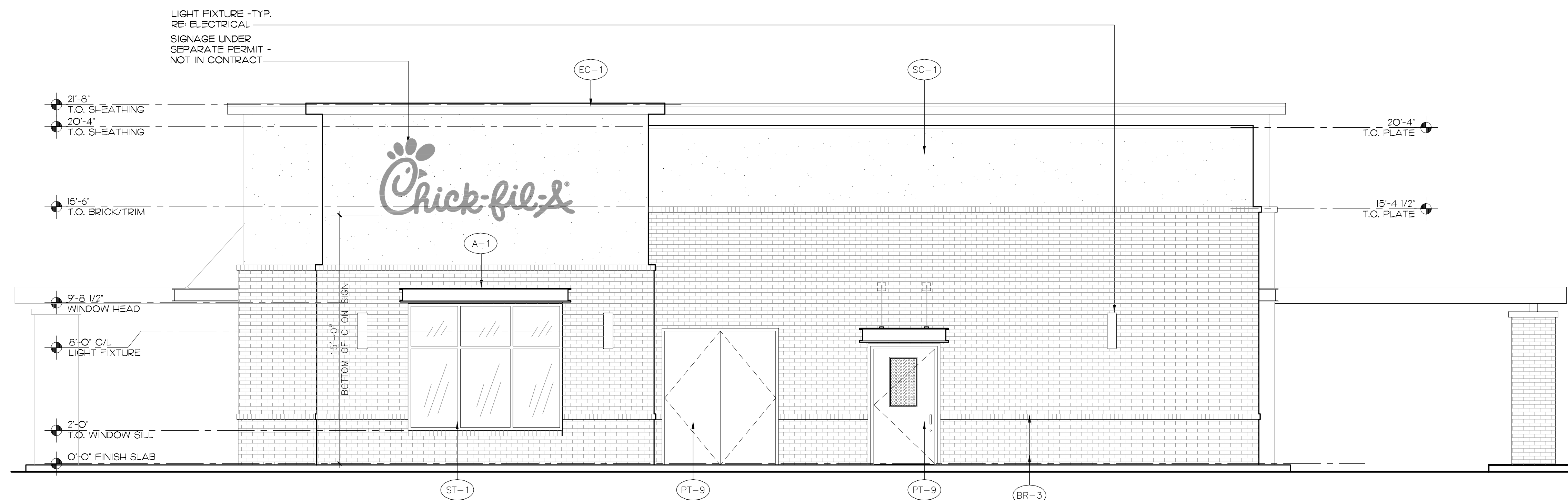
LEGEND (GLAZING AREA CALCULATIONS)



EXTERIOR FINISHES					
BR-3	BRICK VEEER - BORAL BRICK MODULAR COLOR: CITADEL MORTAR: ARGOS SAN TAN	PT-9	PAINT #9 SHERWIN WILLIAMS - DARK BRONZE	ST-1	STOREFRONT YKK - YES 45 COLOR - DARK BRONZE (MATTE)
EC-1	PARAPET WALL COPING - DUROLAST / EXCEPTIONAL METALS COLOR: DARK BRONZE (MATTE)				
SC-1	STUCCO - STO POWERWALL WHITE FINISH - SAND MEDIUM				



1 EAST ELEVATION
N.T.S.



2 WEST ELEVATION
N.T.S.



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SHEET TITLE
EXTERIOR
ELEVATION

VERSION: SQ-C V7
ISSUE DATE: 02-2017

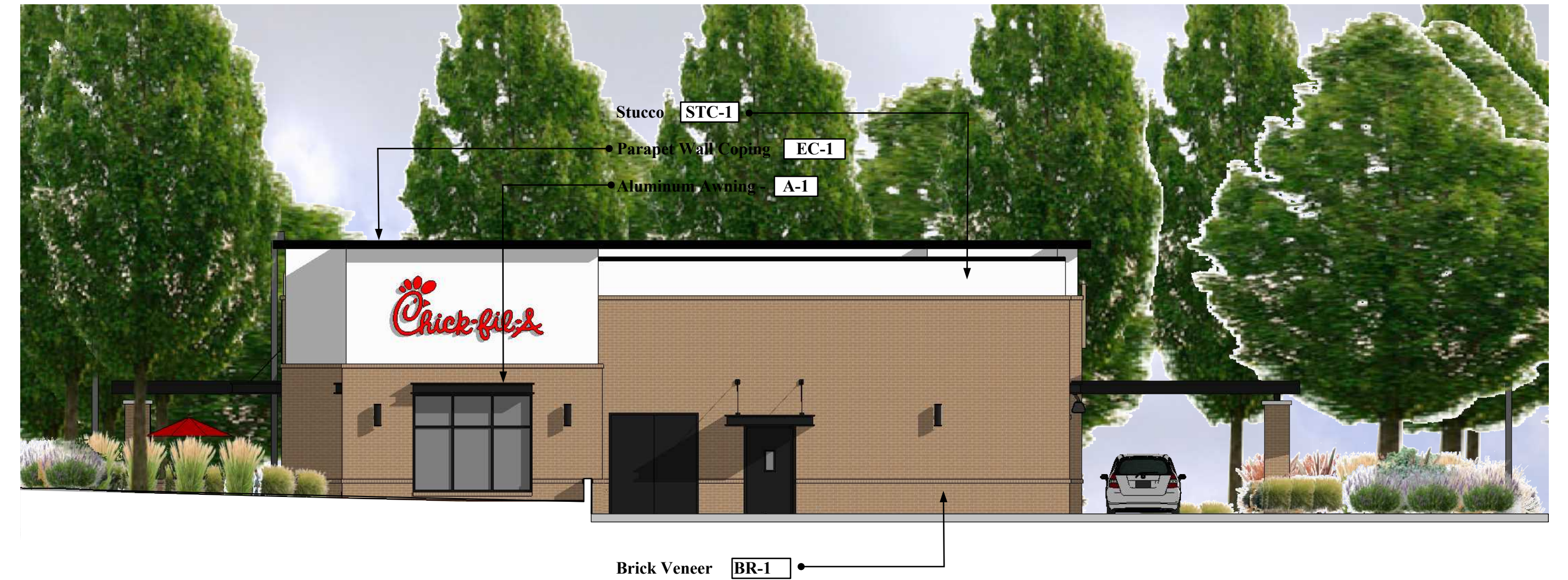
Job No. : 16-199
Store : 04046
Date : 02-14-18
Drawn By :
Checked By: .R.H.

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A-2.2



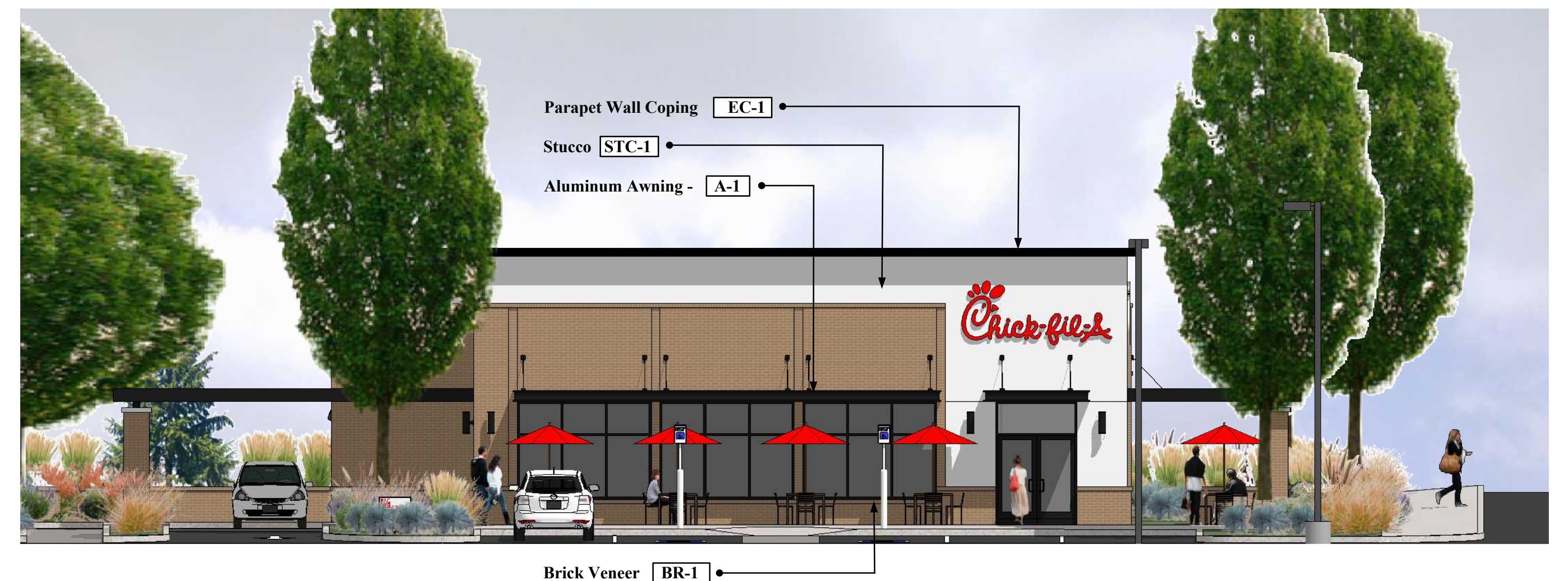
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



PRELIMINARY ELEVATIONS
6520 19th Street, Fircrest, WA

File Name: 16-199-Fircrest, WA

2-2-18 Revised: 2-19-18
Revised: 2-22-18 Revised: 3-27-18
Revised: 3-29-18 Revised: 7-11-18

Note:
All roof top mechanical equipment shall be located in equipment well and screened from view by parapet walls.

COLOR AND MATERIAL LEGEND

- STC-1 Stucco - STO - Powerwall "White"
- BR-1 Brick Veneer - Boral Brick - Color: Citadel
- EC-1 Parapet Wall Coping - Durolast/Exceptional Metals - Dark Bronze (Matte)
- A-1 Aluminum Awning - Color: Dark Bronze





NORTHWEST VIEW



PRELIMINARY ELEVATIONS
6520 19th Street, Fircrest, WA

File Name: 16-199-Fircrest, WA

2-2-18 Revised: 2-19-18
Revised: 2-22-18 Re: 3-27-18
Revised: 3-29-18

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SOUTHWEST VIEW



PRELIMINARY ELEVATIONS
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2-2-18 Revised: 2-19-18
Revised: 2-22-18 Re: 3-27-18
Revised: 3-29-18

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SOUTHEAST VIEW



PRELIMINARY ELEVATIONS
6520 19th Street, Fircrest, WA

File Name: 16-199-Fircrest, WA

2-2-18 Revised: 2-19-18
Revised: 2-22-18 Re: 3-27-18
Revised: 3-29-18

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NORTHEAST VIEW



PRELIMINARY RENDERINGS
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2-2-18 Revised: 2-19-18
Revised: 2-22-18 Re: 3-27-18
Revised: 3-29-18

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SOUTHEAST VIEW



PRELIMINARY RENDERINGS
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