



**CITY OF FIRCREST  
PLANNING COMMISSION  
A G E N D A**

May 7, 2019  
6:00 p.m.

City Hall  
115 Ramsdell Street

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**1) Roll Call**

**2) Approval of the March 27, 2019 Minutes**

**3) Citizen Comments (For Items Not on the Agenda)**

**4) Public Hearing**

- a) Case No. 19-02 Fircrest Community Center Pool and Community Center
  - Staff Report
  - Public Comments
  - Close Public Hearing
  - Commission Discussion
  - Action

**5) Unfinished Business**

- a) None

**6) New Business**

- a) None

**7) Adjournment**

**CITY OF FIRCREST PLANNING COMMISSION  
REGULAR MEETING MINUTES**

March 27, 2019  
6:00 PM

Fircrest City Hall  
115 Ramsdell Street

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**CALL TO ORDER**

Chair Karen Patjens called the regular meeting of the Fircrest Planning Commission to order at 6:00 p.m.

**ROLL CALL**

Commissioners Kathy L. McVay, Cameron McGinnis, Karen Patjens, and Sarah Hamel were present. Excused: Karissa Carpenter. Staff present: Planning and Building Administrator Angelie Stahlnecker and Permit Technician Jayne Westman.

**APPROVAL OF MINUTES**

The minutes for the meeting of December 4, 2018 were presented for approval.

**Moved by McVay and seconded by McGinnis to approve the minutes as amended. Upon vote, motion carried unanimously.**

**CITIZEN COMMENTS**

None.

**PUBLIC HEARING**

None.

**UNFINISHED BUSINESS**

None.

**NEW BUSINESS**

2019 Planning Commission Workplan

Planning and Building Administrator Angelie Stahlnecker presented the staff memo to the Commission with regards to the proposed yearly workplan.

Discussion included:

- With regard to detached ADUs, the current lot requirements will still be effective if it becomes a staff level review as opposed to a conditional use permit.
- Clarification on what business district the staff report was referring to.
- Discussion with regard to sustainability/ green building requirements being incorporated in the 2019 workplan.

**Moved by McVay and seconded by Hamel to approve the 2019 workplan. Upon vote, motion carried unanimously.**

### 2019 Comprehensive Plan Schedule

Planning and Building administrator Angelie Stahlnecker presented the staff memo to the Commission with regard to anticipated yearly updates and review schedule of the 2019 Comprehensive Plan.

Discussion included:

- The timing of the amendment submission period.

**Moved by Hamel and seconded by McGinnis to approve the 2019 Comprehensive Plan update schedule and set the amendment submission time period from April 1, 2019 – May 31, 2019 as shown in Exhibit A. Upon vote, motion carried unanimously.**

### **ADJOURNMENT**

**Moved by McVay and seconded by Hamel to adjourn the meeting at 6:20 p.m. Upon vote, motion carried unanimously.**

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Karen Patjens, Planning Commission Chair

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Angelie Stahlnecker, Planning/Building



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**FIRCREST PLANNING/BUILDING DEPARTMENT  
STAFF REPORT  
CASE # 19-02 – Preliminary Site Plan Review**

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**APPLICANT:** City of Fircrest Parks and Recreation Department

**AGENT:** Emily Wheeler, ARC Architects

**OWNER:** City of Fircrest  
115 Ramsdell Street, Fircrest, WA 98466

**PROPOSAL:** Preliminary Site Plan Review for new community center, outdoor pools, and bathhouse to replace existing recreation facilities

**LOCATION:** Southwest corner of Fircrest Park, near intersection of Contra Costa Avenue and Electron Way

**PARCEL ID:** Assessor Parcel Number 7160201251

**PARCEL SIZE:** 7.59 acres

**ZONING CLASSIFICATION:** Park, Recreation and Open Space (PROS)

**PLAN DESIGNATION:** Parks, Recreation and Open Space (PROS)

**ADJACENT ZONING:** North, East and West: Residential-6 (R-6)  
South: Park, Recreation and Open Space (PROS)  
and Residential-6 (R-6)

**PROPOSAL SUMMARY:** The City of Fircrest proposes to replace the existing Roy H. Murphy Community Center and Pool and construct a new community center, outdoor pools, and bathhouse. The applicant states that existing facilities were built in the 1960's and need replacement, to provide the community with safe, contemporary and efficient facilities. The project is designed to be constructed in 3 phases.

Phase 1 will include the demolition of the existing community center's locker room and the pool pump room, as well as the existing pools and concrete deck. In its place, a new 4,500 sf bathhouse and two outdoor pools will be constructed. This phase will also include pool decks, fencing, site work, utilities, new parking and landscaping.



Phase 2 includes demolition of the existing community center and removal of foundations and utilities. It also includes construction of a new 15,000 sf community center as well as a parking lot, patios, utilities and landscaping.

Phase 3 includes additional parking and traffic calming features along Electron Way. The City is developing plans to convert Electron Way to diagonal parking between Spring Street and Contra Costa. There would be approximately 20 stalls of angle-in parking to the perimeter of the park and 12 stalls along the tennis court side as well as new sidewalks at all locations where new parking has been added.

A design narrative prepared by the project architect (Exhibit 2) describes the public process used to solicit community input for the project design. This process included three well-attended community meetings, numerous steering committee meetings, and City Council meetings, where presentations on design options have been made and citizen input has been received and considered. The architect's narrative describes the resulting design for the site and buildings and provides graphics for illustration. More detailed plans are provided in the site masterplan submittal (Exhibit 3).

**ENVIRONMENTAL DETERMINATION:** The applicant has prepared an Environmental Checklist summarizing potential impacts of the project on the environment (Exhibit 4). The City issued a Determination of Non-Significance (DNS) on March 13, 2019 with a 14-day comment period ending March 27, 2019 (Exhibit 5). Comments received from the Department of Ecology, provided in Exhibit 6, address hazardous waste and toxics reduction, solid waste management, and water quality. Existing City regulations and proposed conditions of approval will ensure project consistency and compliance with Ecology recommendations and requirements.

**CRITERIA FOR SITE PLAN APPROVAL:** FMC 22.72.006 provides the following approval criteria that must be met by the proposal for the Commission to grant approval:

- (a) The proposed use and site design will not be detrimental to the public health, safety, and welfare; injurious to property or improvements in the vicinity; or adversely affect the established character of the surrounding vicinity.*
- (b) The proposed use and site design will meet or exceed all applicable development, design and performance standards and guidelines required for the specific use, location, or zoning classification.*
- (c) The proposed use and site design will be consistent and compatible with the goals, objectives and policies of the comprehensive plan.*
- (d) All conditions necessary to lessen any impacts of the proposed use are measurable and can be monitored and enforced.*

## **ANALYSIS:**

**Compliance with Approval Criteria.** Each of the approval criteria listed above, and the extent to which the proposal meets them, are discussed below.

***Criterion (a): The proposed use and site design will not be detrimental to the public health, safety, and welfare; injurious to property or improvements in the vicinity; or adversely affect the established character of the surrounding vicinity.***

***Staff finding:*** The project consists of replacing existing public recreational facilities (a community center that includes outdoor pools and bathhouse) with comparable facilities of a similar scale and in the same general location. The applicant's public outreach process conducted during 2018-2019 was designed and executed to ensure that community input, especially from residents in the surrounding neighborhood, was considered when developing the project design. As conditioned, the proposed use and site design will not be detrimental to the public health, safety, and welfare; injurious to property or improvements in the vicinity; or adversely affect the established character of the surrounding vicinity.

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***Criterion (b): The proposed use and site design will meet or exceed all applicable development, design and performance standards and guidelines required for the specific use, location, or zoning classification.***

**Park, Recreation and Open Space (PROS) District Permitted Use Requirements.** FMC 22.54.002(b) permits active parks including, but not limited to swimming pools. FMC 22.54.002(c) permits recreational buildings including, but not limited to: facilities such as gymnasiums, basketball courts, community kitchens, banquet halls, indoor stages, and meeting rooms. FMC 22.54.002(d) permits off-street parking facility associated with a park, recreation, or open space use permitted in this section (such as pools and community centers. The proposal is subject to site plan approval in accordance with FMC 22.72 and administrative (staff-level) design review approval per FMC 22.66.

**FMC 22.54.007 Development Standards.** The project design complies with building setback standards (minimum 15 feet from the Electron Way ROW and 25 feet from the Contra Costa Avenue ROW). The code does not specify a maximum building height, leaving it to the discretion of the Planning Commission to determine this through the preliminary site plan review process. The proposed maximum building height of 28 feet, at the gym, (excluding solar panels) is comparable to the maximum 27-foot height allowed in the surrounding R-6 zone. The height of the gym is mitigated with tall conifers along Electron Way and, at its southern edge adjacent to the sidewalk, a storage room that is 15 feet tall, compared to the 28-foot height of the gym. The pool bath house has a height of approximately 15 feet. Maximum lot coverage (25%) and impervious surface coverage (40%) standards are easily met due to the small footprint of this project relative to Fircrest Park when considered in its entirety.

**FMC 22.58.008 Performance Standards.** This section provides performance standards that the final project design and construction methods will need to meet. A proposed condition of approval references this section. Of note is Subsection (k) Stormwater Management, which requires stormwater facilities to be designed to meet or exceed the standards outlined in the Ecology Stormwater Management Manual for Western Washington. Consistent with NPDES Western Washington Phase II Municipal Stormwater Permit requirements, LID designs and LID BMPs shall be required in areas where soils and geology support it. Larger projects triggering the manual's requirements for water quality

treatment and/or flow control shall incorporate LID components to the extent practicable consistent with The Low Impact Development Technical Guidance Manual for Puget Sound. The project's Civil Engineering firm, AHBL, has prepared a Preliminary Stormwater Site Plan report that concludes stormwater infiltration would be infeasible due to the water table depth at the site. Groundwater was located around three feet deep during GeoEngineer's onsite testing, which took place from January to March in 2016. Therefore, it is unlikely the project design will be able to incorporate substantial LID components, although a proposed bioretention rain garden may ease impacts of run-off on the storm system.

**FMC 22.60 Parking and Circulation.** FMC 22.60.003 lists parking space requirements for various activities. It does *not* provide guidance as to the appropriate level of parking that should be provided for swimming pools and community centers. Currently, 21 stalls are provided at the 13,000 sf Roy H. Murphy Community Center and Pool. New parking will be added at each of the three phases of construction.

Phase 1 includes installation of 15 angle in stalls, including two ADA parking stalls along Contra Costa adjacent to the bathhouse.

Phase 2 includes demolition of 21 stalls and construction of 15 new ones, including two ADA accessible stalls, in an off-street lot located at the southwest corner of the community center and park. This parking lot includes a passenger loading and unloading zone (3 stall capacity) at the west entrance of the community center that will temporarily offset the minor reduction in parking. Phase 2 includes walkways to a park gateway from Contra Costa that will be comprised of deciduous trees, plantings and a formal path. The walk will lead to a patio with views of the park, connections to the community center, and moveable chairs and tables for patron and public use.

Phase 3 includes the addition of approximately 32 angled parking spaces and traffic calming measures along Electron Way. Based on community feedback, this keeps parking at the park perimeter rather than within a large parking lot in the park.

The new community center will contain 15,000 sf of floor area, an incremental increase in size from the current 13,000 sf facility. The new facility, including the outdoor pools and bathhouse, are expected to generate additional activity and parking demand at the site. Phase 3 parking would significantly increase parking capacity to accommodate expected demand.

Bicycle Parking. FMC 22.60.010(a) requires bike racks or locker-type bike parking in any development required to provide 12 or more parking spaces. Subsection (b) requires at least one bicycle parking space for every 12 spaces required for motor vehicles, which would trigger the bike parking requirement for this project. However, given the expected intensive use of the site by children, youth and active adults of all ages, additional bike parking beyond what is normally provided for some other uses may be warranted.

Under Subsection (b)(2), the planning commission may require additional spaces when it determines that the use or its location will generate a high volume of bicycle activity. This is appropriate for uses such as parks, playfields, and recreational facilities. Staff

recommends that bike racks or lockers be installed near entrances to the bathhouse and community center, consistent with the following subsections:

*(c) Bicycle facilities for patrons shall be located on site, designed to allow either a bicycle frame or wheels to be locked to a structure attached to the pavement, or allow for the entire bicycle to be enclosed within a locker.*

*(d) All bicycle parking and storage shall be located in safe, visible areas that do not impede pedestrian or vehicle traffic flow, well lighted for nighttime use, and located in covered areas or otherwise be protected from the elements where practicable.*

**FMC 22.62 Landscaping Regulations.** The applicant's design narrative states that landscape will be native plants and drought resistant. The design will help further tie the pool and buildings together and will complement the park with splashes of color and texture. Improvements are sited to retain 3 of 5 large Douglas firs on the southernmost edge of Fircrest Park. Detailed landscape plans that demonstrate code compliance with all applicable standards will need to be submitted for administrative design review approval.

**FMC 22.64 Design Standards.** In order for the Planning Commission to approve a preliminary site plan, it must make a finding that the proposed use and site design will meet or exceed all applicable design standards and guidelines. In addition, the proposed development is subject to administrative (staff level) design review per FMC 22.66.008 in order to ensure project compliance with all applicable development regulations, the design guidelines contained in Chapter [22.64](#) FMC, and the goals, policies and objectives of the comprehensive plan.

Administrative design review for this project consists of a two-step process that begins with a review of conceptual plans conducted concurrently with the Commission's review of the site plan review application. If the Commission grants site plan approval for a conceptual design, the applicant will need to submit detailed plans for final design review by staff. This second review is intended to ensure that all design issues identified during the review of the conceptual plans are fully addressed prior to issuance of a building permit or other construction permit.

Staff has reviewed the conceptual plans for consistency with the design guidelines contained in Chapter [22.64](#) FMC and believes that the proposal is generally consistent with the applicable guidelines listed below.

- 22.64.002 Natural features. Intent – Retain natural features and landmarks as open space amenities.
- 22.64.003 Grading and storm drainage. Intent – Retain the natural landscape and avoid creating unnatural or unsightly grading, drainage, and other site disturbances.
- 22.64.004 Landforms and views. Intent – Fit building improvements into the natural landscape and preserve views of surrounding features.

- 22.64.006 Parking lots and areas. Intent – Develop parking areas that highlight buildings and pedestrian areas, screen parked vehicles from adjacent land uses, and reflect land use activities.
- 22.64.008 Building heights. Intent – Create building heights that reflect pedestrian scale and provide visual interest.
- 22.64.009 Modulation and articulation – Walls and roofs. Intent – Reduce building mass to human scale and increase visual detail and interest.
- 22.64.010 Building scale. Intent – Create buildings that reflect function with visually interesting architectural definitions.
- 22.64.011 Building entries. Intent – Create visible, functional, efficient, and safe building pedestrian access systems.
- 22.64.012 Building materials. Intent – Use construction materials and methods that are durable, maintained, visually attractive, and functional to the region.
- 22.64.014 Service equipment and activities. Intent – Locate trash, mechanical, and utility service equipment in ways that are functional, secure, and visually screened.
- 22.64.015 Solar orientations. Intent – Maximize passive and active solar energy possibilities.
- 22.64.040 Landscape materials. Intent – Install landscape materials that are native, drought resistant, and appropriate to the purpose of the improvement.

Guidelines *not* listed above are largely inapplicable to this project.

**Staff finding:** *Based on review at a conceptual level, staff believes the proposed use and site design will meet or exceed all applicable development, design and performance standards and guidelines required for the specific use, location, or zoning classification. The applicant will need to submit detailed information concerning architectural design, landscape design, and other design elements for final staff review and approval.*

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***Criterion (c): The proposed use and site design will be consistent and compatible with the goals, objectives and policies of the comprehensive plan.***

**Staff finding:** *The proposed use and site design will be largely consistent and compatible with Park, Recreation and Open Space Goals P1 and P2, Community Character Goals CC1 and CC4, Land Use Goals LU2 and LU10, and associated policies, listed below:*

- **GOAL P1** Enhance a high quality, diversified system of parks, recreation facilities, and open spaces that are attractive, safe, functional, affordable and accessible to all segments of the population.
- **Policy P1.1** Provide parks with activities for all age groups and abilities.

- **Policy P1.2** Develop athletic facilities that meet the highest quality competitive playing standards and requirements for all age groups, skill levels, and recreational interests.
- **Policy P1.3** Develop new or improve existing multi-use facilities to increase flexibility of use for new activities, or other new trends, as there is a demonstrated need in the community.
- **Policy P1.4** Redevelop indoor community spaces that provide arts and crafts, music, video, classroom instruction, meeting facilities and other spaces for all age groups on a year-
- **Policy P1.5** Provide a blend of passive and active parks and open spaces that fulfil the recreational needs of the City's residents.
- **Policy P1.6** Design and manage park and recreational trails and facilities offering universal accessibility of residents of all physical capabilities, skill levels, ages, income, and activity interests.
- **Policy P1.7** Plan for the future so adequate open space, historical elements, recreation facilities and programs are provided for future generations.
- **GOAL P2** Provide adequate recreational opportunities to meet the leisure needs for all age and interest groups that engage a broad cross-section of the community.
- **Policy P2.3**  
Provide programs, special events and facilities that promote a sense of community and stimulate socialization for the individuals and family.
- **Policy P2.5**  
Support the development of athletic facilities that meet quality playing standards and requirements for all age groups and recreational interests, concentrating on field and court activities that provide for the largest number of participants.
- **GOAL CC1**  
Facilitate the success of public places that foster community cohesiveness by ensuring well-designed spaces that support activity and community interaction.
- **Policy CC1.1**  
Continue to provide community gathering places in recreation facilities and park sites throughout the city and encourage development of new community gathering places, especially in underserved areas of the community.
- **Policy CC1.4**  
Design and build Fircrest's public buildings and indoor/outdoor facilities to enhance their function as community gathering places.
- **Policy CC4.3**  
Design and build Fircrest's civic buildings in a superior way and with high-quality materials to serve as innovative and sustainable models to the community.
- **GOAL CC4**  
Adopt and implement design standards and guidelines that will achieve design excellence, desired urban form, and community character goals consistent with citizens' preferred design parameters.

- **Policy CC4.5**

Foster the natural environment and maintain and enhance the green character of the city, while integrating healthy built environments through techniques such as:

- Encouraging design that minimizes impact on natural systems;
- Using innovations in public projects that improve natural systems;
- Preserving key areas of open space; and
- Requiring the preservation, maintenance and installation of new street trees and other vegetation in accordance with the City's design standards and guidelines, and landscaping requirements.

- **Policy CC4.6**

Encourage design and installation of landscaping that:

- Creates character and a sense of place;
- Retains and enhances existing green character;
- Preserves and utilizes native trees and plants;
- Enhances water and air quality;
- Minimizes water consumption;
- Provides aesthetic value;
- Creates spaces for recreation;
- Unifies site design;
- Softens or disguises less aesthetically pleasing features of a site; and
- Provides buffers for transitions between uses or helps protect natural features.

- **GOAL LU2**

Ensure that future growth and development protect and enhance the City's quality of life and character and are compatible with existing community fabric.

- **Policy LU2.3**

The City should promote compatibility between land uses and minimize land use conflicts when there is potential for adverse impacts on lower-intensity or more sensitive uses by:

- Ensuring that uses or structures meet performance standards that limit adverse impacts, such as noise, vibration, smoke and fumes; and
- Creating an effective transition between land uses through building and site design, use of buffers and landscaping, or other techniques.

- **GOAL LU10**

Land uses and development and redevelopment projects shall be managed to preserve and improve the natural environment as well as the built environment.

- **Policy LU10.7**

To minimize maintenance costs, conserve water, and provide vegetation with the maximum usefulness as wildlife habitat, urban landscaping should emphasize the use of indigenous plants that are drought tolerant during the summer months. Landscaping may also include non-native plant species that are well adapted to growing and providing wildlife habitat with minimal human intervention in the local climate and soils.

**Criterion (d): All conditions necessary to lessen any impacts of the proposed use are measurable and can be monitored and enforced.**

**Staff finding:** *The proposed conditions of approval listed in the preliminary resolution (Exhibit 7) will ensure that all potential impacts resulting from the project are mitigated to a satisfactory level in conformance with applicable code requirements. All proposed conditions can be monitored and enforced through the administrative design review, site development permit, and building permit approval processes and subsequent site inspection process.*

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**RECOMMENDATION:** Staff recommends the Planning Commission grant approval of the preliminary site plan review based on the findings and subject to the conditions listed in the preliminary resolution provided as Exhibit 8.

Jeff Boers  
Jeff Boers, Principal Planner

April 19, 2019  
Date

**EXHIBITS:**

1. Land Use Application
2. Project Architect's Design Narrative
3. Site Master Plan Submittal
4. Applicant's Environmental Checklist
5. SEPA Determination of Nonsignificance
6. Comment Letter from Department of Ecology, dated March 27, 2019
7. Preliminary Resolution



# Land Use Application

## Type of Project

*Please check all that apply  
and attach submittal sheet(s):*

- ☒ Administrative Design Review
- ☐ Administrative Use Permit
- ☐ Boundary Line Adjustment
- ☐ Amendment – Comprehensive Plan
- ☐ Amendment – Zoning Regulations
- ☐ Amendment – Zoning Map \*
- ☐ Conditional Use Permit \*
- ☐ Conditional Use – Amendment \*
- ☐ Detached Accessory Structure \*
- ☐ Development Plan – Preliminary \*
- ☐ Development Plan – Final
- ☐ Development Plan – Amendment\*
- ☐ Plat Subdivision – Preliminary \*
- ☐ Plat Subdivision – Final \*
- ☐ Plat – Alteration/Vacation \*
- ☐ Reasonable Use Exception
- ☒ SEPA Checklist
- ☐ Short Plat
- ☐ Site Plan Review – Minor
- ☒ Site Plan Review – Major \*
- ☐ Site Plan Review – Final
- ☐ Site Plan Review – Amendment\*
- ☐ Variance – Major \*
- ☐ Variance – Minor\*
- ☐ Variance – Sign
- ☐ Other:

*\*Pre-application conference required*



THE CITY OF FIRCREST  
Planning and Building  
115 Ramsdell St Fircrest WA 98466  
253-564-8901  
www.cityoffircrest.net

Applicant Name:

City of Fircrest

Address:

555 Contra Costa Avenue Fircrest, WA

Representative (if different):

ARC Architects, Emily Wheeler

Phone:

206-322-3322

Email:

wheeler@arcarchitects.com

Property Owners (if different):

City of Fircrest

Phone:

Jeff Grover: 253-238-4160

Email:

jgrover@cityoffircrest.net

Project Address:

555 Contra Costa Avenue Fircrest, WA

Brief Description of Project:

New outdoor pool, bathhouse, & community center to be built in 2 phases. Project includes demolition of existing pool and community center and site construction of sidewalks and patios.

Parcel Number(s):

7160201251

Site Area (square footage):

7.59 acres

Land Use Designation:

Parks, Rec, & Open Space

Zoning Designation:

Parks, Rec, & Open Space

Environmental sensitive areas on or within 150': Yes No ☒

Physical Characteristics of Site:

Existing park and community center with mostly flat grades, sloping up to the street at the north & east. Existing outdoor pool, playground, and park structure.

I certify that all of the information submitted in this application including any supplemental information is true and complete to the best of my knowledge and I acknowledge that willful misrepresentation of information will result in the cancellation of this permit application. I have read this application in its entirety and understand that my submittal will be reviewed for completeness and, if found to be complete, will be processed in accordance with FMC 22.05.

Signature:



Date:

2/12/2019

Signature:

Date:

Signature:

Date:

# Major Site Plan Review - Preliminary Submittal

## Submittal Items

*Please include the following:*

- ☒ Land Use Application
- ☒ All materials listed on reverse side
- ☐ Traffic Concurrency Certificate or Application
- ☐ Traffic Impact Analysis\*;
- ☒ Drainage Plan;
- ☐ Sensitive Area Affidavit;
- ☐ Sensitive Area Special Study\*
- ☐ Environmental Checklist\*;
- ☐ Certificates of Water/Sewer Availability \*\*;
- ☐ Small Project
  - o Intake fee: \$450
  - o Deposit: \$1,350
- ☐ Medium Project
  - o Intake fee: \$720
  - o Deposit: \$2,160
- ☐ Large Project
  - o Intake fee: \$1,080
  - o Deposit: \$3,240

*The applicant shall be responsible for the actual cost incurred by the City in processing the application. The total fee shall be reduced by the amount of the deposit. The applicant shall remit to the City the amount exceed by the deposit. If the deposit fee exceeds the City's actual costs, the balance shall be refunded.*

\* When applicable

\*\* As required by Public Works



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The major site plan review process is intended to enable the Planning Commission to evaluate development proposals with respect to architectural design, landscape design, urban form, pedestrian and vehicular circulation, utility design, and site characteristics. The process allows the Planning Commission to condition development proposals to ensure their compatibility with adjoining uses, compliance with development regulations, and consistency with comprehensive plan goals, objectives and policies. The process is intended to run concurrently with the administrative design review process to ensure that all critical design issues are addressed early in the site planning and review stages.

### Major Site Plan Review (please check):

- ☒ a) New commercial, industrial, residential, public and quasi-public buildings greater than 2,000 square feet of gross floor area; and
- ☐ b) Commercial, industrial, residential, public and quasi-public building additions which are greater than 2,000 square feet of gross floor area; and
- ☒ c) Parking lot improvements associated with development proposals listed in subsections (a) and (b) of this section.

### Project Size (please check):

- ☐ Small Project: less than 5 dwelling units or 10,000 square feet of commercial structure
- ☒ Medium Project: 5-20 dwelling units or 10,000 – 30,000 square feet of commercial structure
- ☐ Large Project: greater than 20 dwelling units or greater than 30,000 square feet of commercial structure

### Please include how the proposal is compliant with the following criteria:

- The proposed use and site design will not be detrimental to the public health, safety, and welfare; injurious to property or improvements in the vicinity; or adversely affect the established character of the surrounding vicinity.
- The proposed use and site design will meet or exceed all applicable development, design and performance standards and guidelines required for the specific use, location, or zoning classification.
- The proposed use and site design will be consistent and compatible with the goals, objectives and policies of the comprehensive plan.
- All conditions necessary to lessen any impacts of the proposed use are measurable and can be monitored and enforced.

## FIRCREST SITE PLAN REVIEW

The City of Fircrest has decided to replace the existing Roy H. Murphy Community Center and Pool and construct a new community center, pool, and bathhouse. The existing facilities were built in the 1960's and are in need of replacement, to provide the community with safe, contemporary and efficient facilities. The project is designed to be constructed in 3 phases.

Phase 1 will include the demolition of the existing community center's locker room and the pool pump room, as well as the existing pools and concrete deck. In its place, a new 4,500 sf bathhouse and 2 outdoor pools will be constructed. This phase will also include pool decks, fencing, site work, utilities, new parking and landscaping.

Phase 2 includes demolition of the existing community center and removal of foundations and utilities. It also includes construction of a new 15,000 sf community center as well as a parking lot, patios, utilities and landscaping.

Phase 3 is the plan to turn the parallel parking on Contra Costa and Electron Way to diagonal parking along the edges of the park. There would be approximately 60 stalls of angle-in parking to the perimeter of the park as well as new sidewalks at all locations where new parking has been added.

The following pages describe the public process and the resulting design for the site and buildings. The project will be submitting for Building Permits for Phase 1 for the Pool and Bathhouse in April 2019 in anticipation of starting construction in August.





## PUBLIC PROCESS

**The design** of each phase was responsive to input from the public, a representative steering committee of about 15 people, and Fircrest City Council. ARC Architects, in conjunction with Berk Consulting, held three public meetings and there will be one more, for a total of four. The result of this input is a design that fits with the historic, geographic, and cultural landscape of the City. The community center, bathhouse and pool, when complete, **will welcome all residents** to gather, recreate, and engage with their families and neighbors.

### #1 May 29, 2018

The first public meeting was attended by approximately 100 people. The focus was the history of the site, project scope, site and building relationships, the types of uses residents would like to see, and the character and feel of the building and site design. The results were that a new community center was to be included in the scope and planning for the site, a competition and recreation pool were desired, building and site improvements should minimize impact on open park area, and ARC should consider Fircrest's history as a source of inspiration, without replicating historical styles.

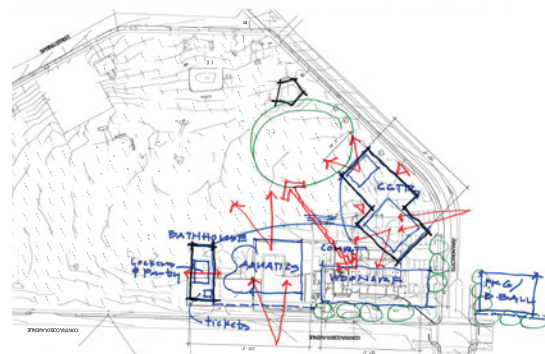
### #2 August 13, 2018

The second public meeting took the feedback from the first and presented to the public a site plan that placed the new community center in a similar location as the current center with the bathhouse north of the

pool. The design team also presented plans for the bathhouse and community center and solicited input about pool features.

Angled-in parking was suggested to increase parking and to help meet the public's desire to minimize impacts on park open space.

The general strategy for aligning the look and feel of the center with the historic character of the city was also discussed: The City Beautiful movement was presented as a way to think about landscape and site design; and a building design that combined the architecture of Frank Lloyd Wright with that of Walt Widmeyer, past resident of Fircrest and the architect of the existing community center. Two roof forms – flat and sloped – were presented for public comment and input.



Site plan sketch following the 1st Public Meeting



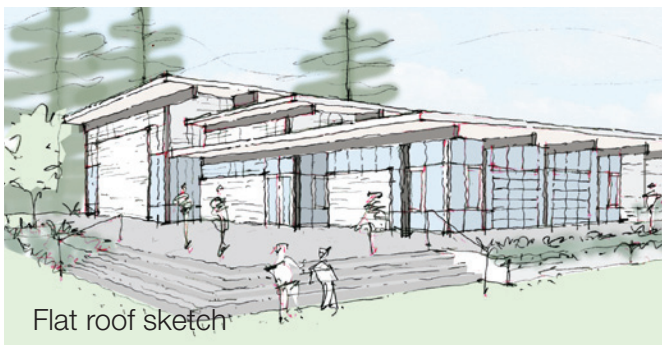
### #3 January 23, 2019

The third public meeting presented renderings of the buildings, pool and site based on approvals from City Council, which, in turn, was based on input from the public and the steering committee. The public had opportunity to comment on material and colors for the building, plant palette options for the site, and the possibility of a walk at the edge of lawn areas. There was general approval of the building design and voting on material and color options.

### Steering Committee Meetings

The Steering committee has been instrumental in providing timely feedback and thoughtful community input into the scope, scale, and design for the community center.

- May 09, 2018. Site Plan building blocks and options.
- June, 19, 2018. Site Plan evolution and presentation of bathhouse plans.
- July 17, 2018. Updated Site plan with phasing and initial Community Center Plan is presented, as well as character defining architectural and landscape strategies.
- September 5th, 2018. Design Option Developments, Emerging Issues.
- October 10th, 2018. Design Developments, Pool Design and Survey Results.
- January 17, 2019. Building design and material options and landscape discussion



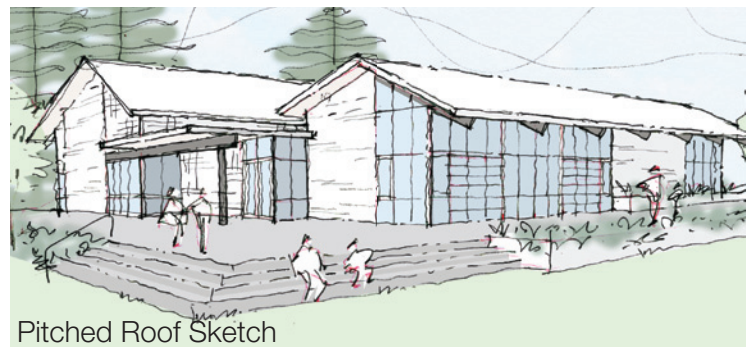
Flat roof sketch

### Fircrest City Council Meetings

Fircrest City Council has been guiding the process for the project, gathering citizen input, and exploring financial options for project development. There have been 4 official presentations to Council about the project.

- June 26, 2018. Site History, Site Plan evolution and presentation of floor plans and precedents
- August 28th, 2018. Design Option Developments, Roof and Pool options, Emerging Issues.
- October 23rd, 2018. Design Option Developments, Review of Bond options, and Survey Results.
- October 29, 2018. Decision to proceed with full project for bond vote, flat roof, and Pool option 2.

As shown, the project has had input from many citizens and local leaders, and has benefited from their thoughtful questions, suggestions, and comments. The design works to reflect the needs and desires of the community with new site and building design that enhances the Park and contributes to the City of Fircrest.



Pitched Roof Sketch

## SITE DESIGN

It was clear in the public process that the **Park is the backbone of the community.** The site design was developed to locate the building to have minimal impact on the site while still delivering expanded programming opportunities. It is sited to retain 3 of 5 large Douglas firs on the southernmost edge of Regents Park. Relative to the existing community center's footprint and parking, the new design takes a minimal area of existing lawn from the park. The new center stands well clear of the Kiwanis Pavilion. Impervious surfaces have been minimized to help manage storm water.

The new community center and bathhouse are positioned at an average grade between the park's lowest elevation and the street elevation. This limits the visual impact of the community center and bathhouse on the park and helps provide universal access without ramps. Rainwater from the new patios will be routed to the storm sewer and a bioretention rain garden eases impacts of run-off on the storm system

New parking will be added at each of the three phases of construction. Phase 1 includes two additional ADA parking stalls added along Contra Costa adjacent to the bathhouse.

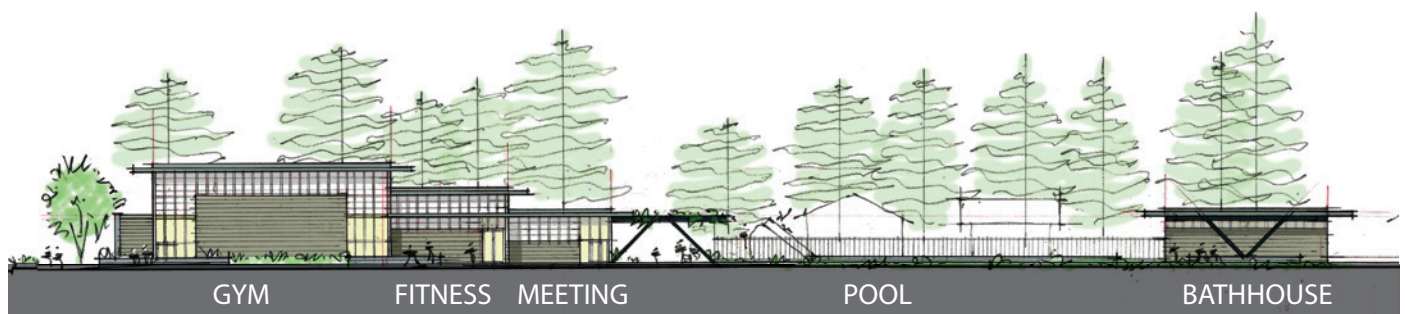
Phase 2 includes demolition of twenty-one stalls and construction of eighteen new ones at the southwest corner of Regents Park. This parking includes a

generous passenger loading and unloading zone at the west entrance of the community center that will temporarily offset the minor reduction in parking. Of note, approximately 13% of the area of Fircrest falls within a 5-minute walk of Regents Park (reference exhibit A) – it is anticipated that the temporary parking reduction will be mitigated by increased pedestrian travel.

Phase 2 includes walkways to a Park Gateway from Contra Costa that is comprised of deciduous trees, plantings and a formal path. The walk leads to a patio with views of the park, connections to the community center, and moveable chairs and tables for patron and public use. The north wall of the community center and south fence of the pool help focus views to the Kiwanis Pavilion and sports fields. A row of trees will be added along Contra Costa that helps screen the parking from residents west of the site. This row of trees will continue down Contra Costa and screens the pool as well. This landscape design helps place the pool, bathhouse and center in the park rather than along the its edge.

Phase 3 includes approximately 60 angled parking spaces at the perimeter of the park. Based on community feedback, this keeps parking at the park perimeter rather than a large parking lot in the park.

See full size plan set for more information.



Concept image of Community Center, Pool, and Bathhouse from the Park





Rendered Site Plan of Regents Park, Phase 1, 2, and 3 completed.

## BUILDING DESIGN

One of the primary criteria for the New Community Center, Pool and Bathhouse is to create connections to the Park. The current facility lacks visual connections with the Park and this is a loss for the community and the Park.

The community center has three volumes that shift in plan to provide enhanced views of the park from inside the center. The volumes step down in scale from the gym, with a height that accommodates basketball, down to the lower volume of the multi-purpose room.

The multi-purpose room's height, window pattern, structure and roof overhang provide a comfortable human scale at the outdoor patio. The bathhouse design matches the scale of the multi-purpose room and has the same structural rhythm and generous roof overhangs. The bathhouse social room faces the Park with a generous covered patio connection.

The height of the gym is mitigated with tall conifers along Electron Way and, at its southern edge adjacent to the sidewalk, a storage room that is 15' tall, compared to the 28' height of the gym.

Between the volumes of the gym and the multipurpose space is a mid-height volume that screens views of roof-mounted mechanical equipment. This creates a third volume that provides interest and helps mark the west entrance of the community center.

To emphasize the pedestrian access to the community center, both west and east entries include generous overhangs, colored glass, and backlit signage. The bathhouse entry will include a similarly scaled overhang as well as backlit signage and a colorful graphic over the ticketing window.

The community center is oriented to receive diffused, even north and east light in the multi-purpose room and gym and to provide views out to the sports fields. The flat roofs and east-west orientation of the building provide a south-facing platform for photovoltaic panels on the gymnasium roof.

The landscape will be native plants and drought resistant. It will help further tie the pool and buildings together and will complement the park with splashes of color and texture. The building materials will do much the same: the wood-like siding will help the building blend with the park setting and splashes of color will add interest and highlight building entrances.

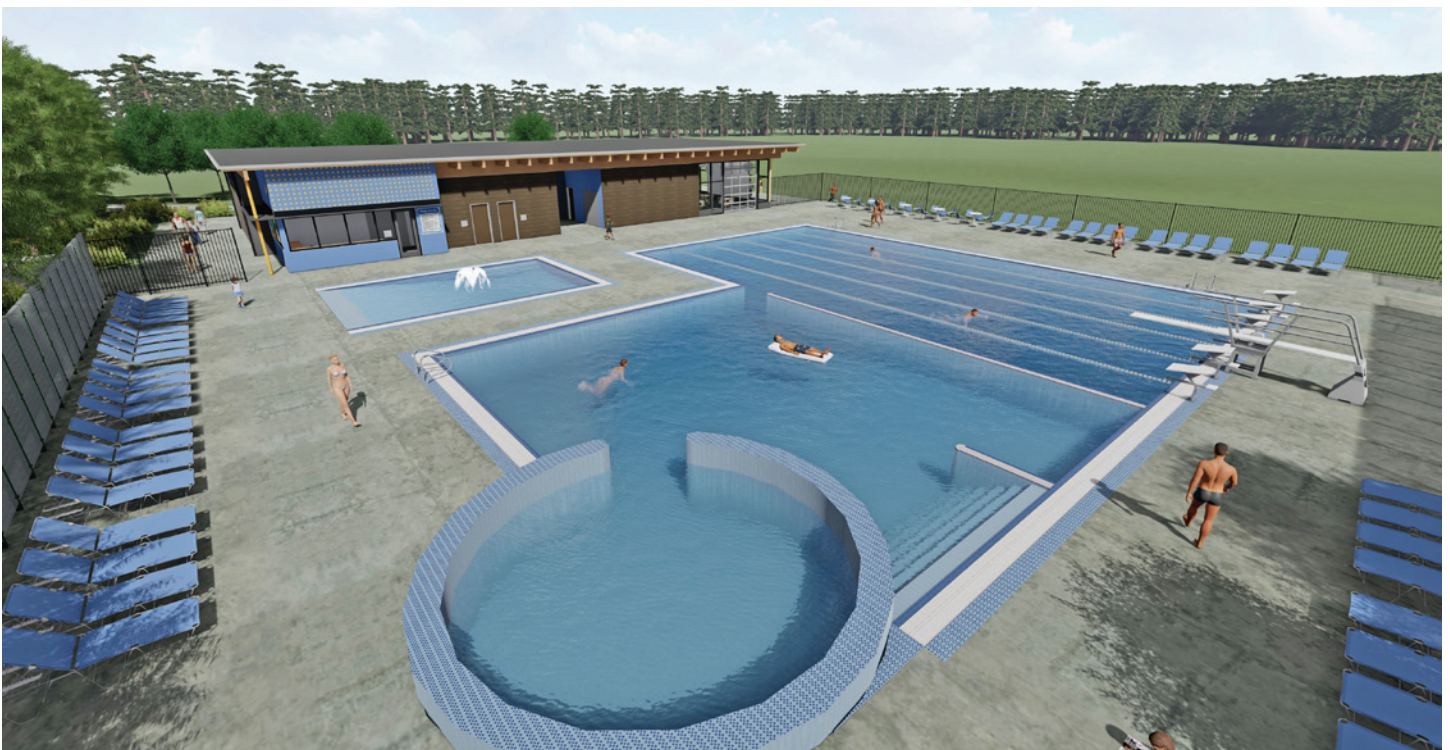


View of Community Center, Pool, and Bathhouse from the Park





View from Contra Costa Street to the Bathhouse



View of pool looking north with Park to the east.





Aerial view of site showing the solar PV panels and site connections.



View of Bathhouse from the Park. Party room and snack bar window are easily accessible with a covered patio area



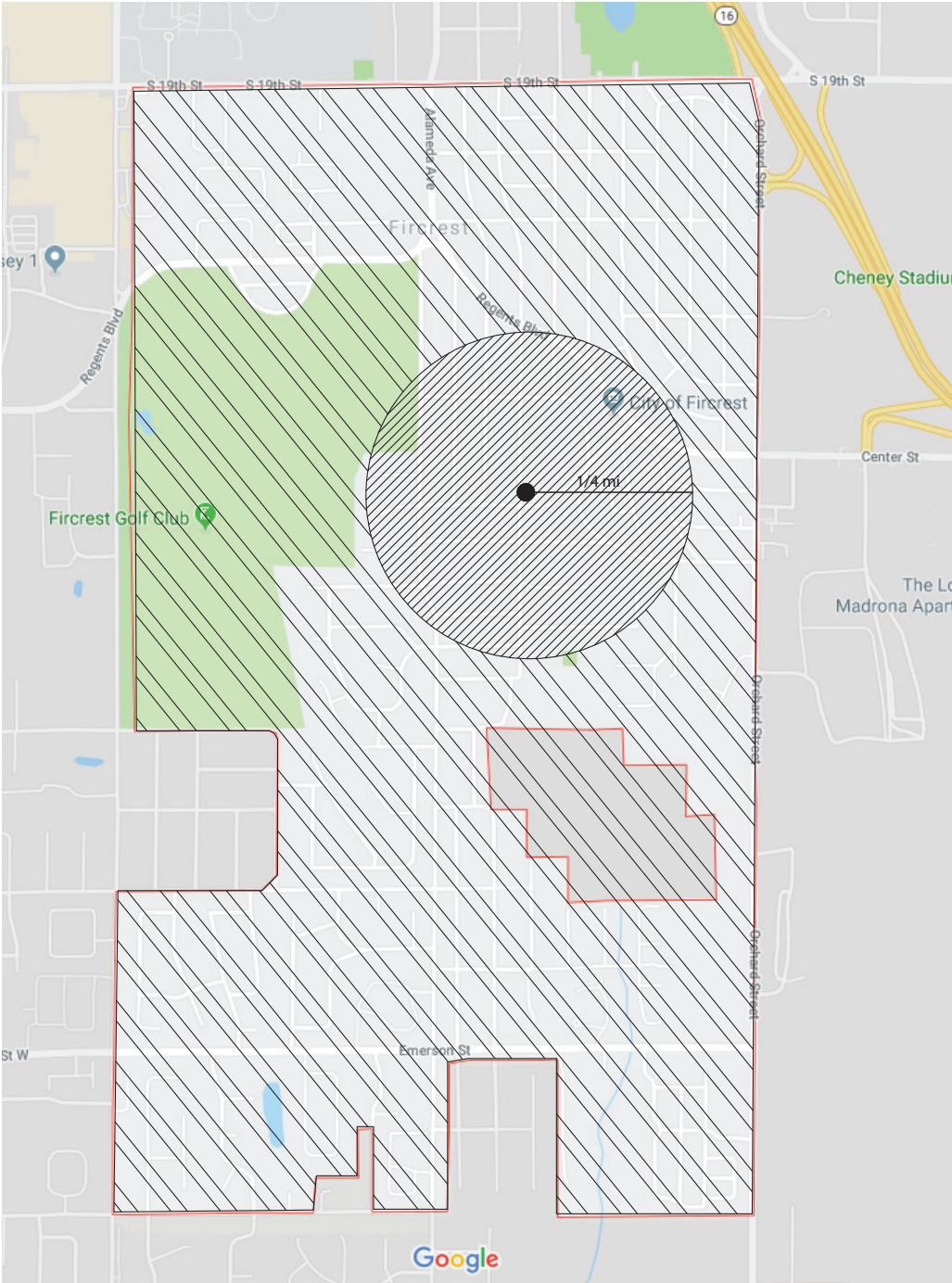


View from the parking lot to the main west entry. Additional gymnasium access is available for large events.



View of Community Center from the Park. Multipurpose room opens to large plaza. The main east entry is welcoming with a covered entry.

EXHIBIT A



43,188,925 Total Area  
5,473,911 Walkable Area from Center  
Percentage walk of total = ~13%



## DESIGN GUIDELINE CRITERIA

### **22.64.002 Natural features.**

Intent – Retain natural features and landmarks as open space amenities.

### **22.64.003 Grading and storm drainage.**

Intent – Retain the natural landscape and avoid creating unnatural or unsightly grading, drainage, and other site disturbances.

### **22.64.004 Landforms and viewsapes.**

Intent – Fit building improvements into the natural landscape and preserve views of surrounding features.

### **22.64.006 Parking lots and areas.**

Intent – Develop parking areas that highlight buildings and pedestrian areas, screen parked vehicles from adjacent land uses, and reflect land use activities.

### **22.64.008 Building heights.**

Intent – Create building heights that reflect pedestrian scale and provide visual interest.

### **22.64.009 Modulation and articulation – Walls and roofs.**

Intent – Reduce building mass to human scale and increase visual detail and interest.

### **22.64.010 Building scale.**

Intent – Create buildings that reflect function with visually interesting architectural definitions.

### **22.64.011 Building entries.**

Intent – Create visible, functional, efficient, and safe building pedestrian access systems.

### **22.64.012 Building materials.**

Intent – Use construction materials and methods that are durable, maintained, visually attractive, and functional to the region.

### **22.64.014 Service equipment and activities.**

Intent – Locate trash, mechanical, and utility service equipment in ways that are functional, secure, and visually screened.

### **22.64.015 Solar orientations.**

Intent – Maximize passive and active solar energy possibilities.

### **22.64.040 Landscape materials.**

Intent – Install landscape materials that are native, drought resistant, and appropriate to the purpose of the improvement.

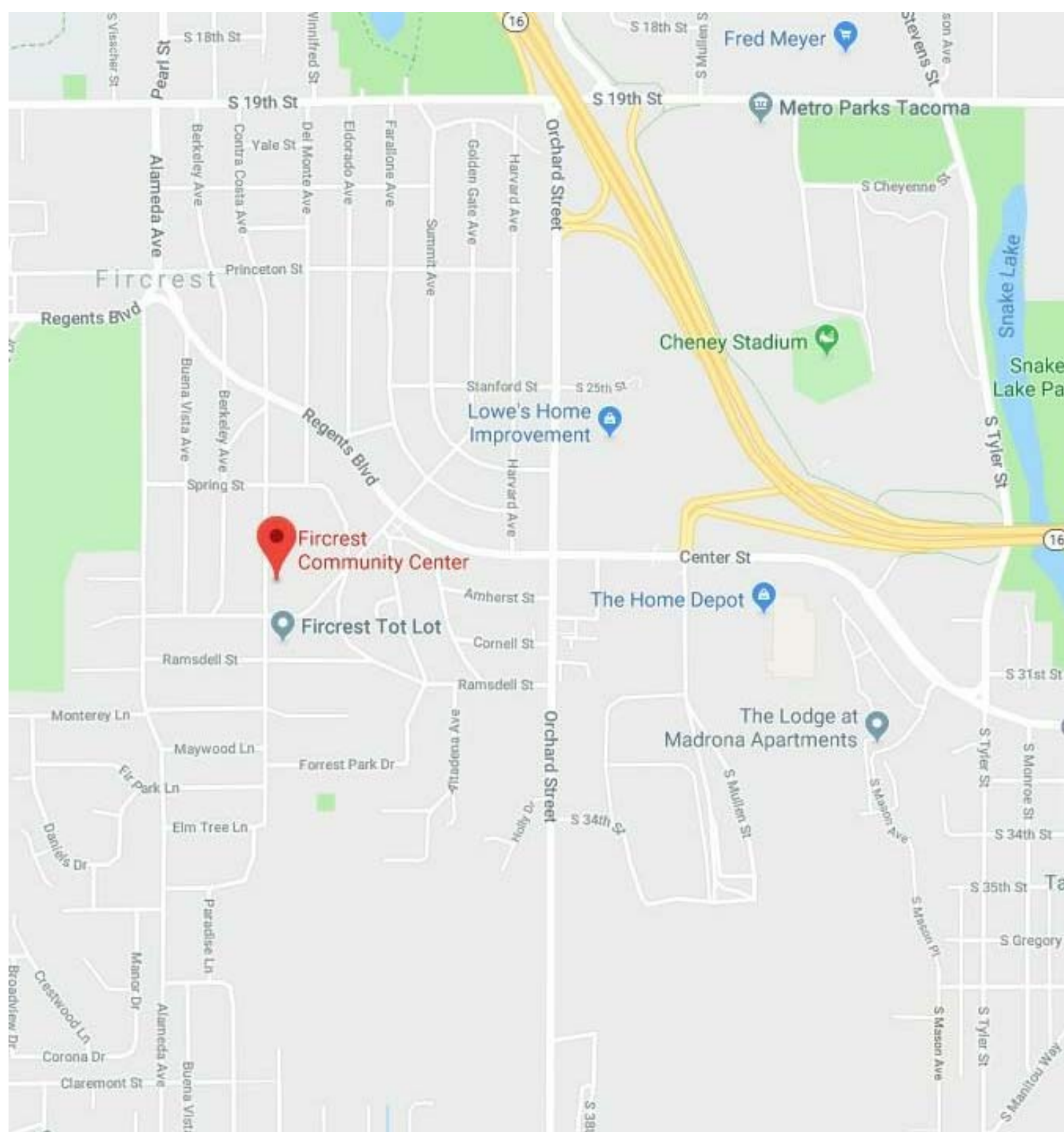


# FIRCREST COMMUNITY CENTER & POOL

## SITE DEVELOPMENT REVIEW PERMIT



### VICINITY MAP



### PROJECT TEAM

<b>OWNER:</b> FIRCREST PARKS AND RECREATION CONTACT: JEFF GROVER, DIRECTOR PH: (253) 238-4160 EMAIL: JGROVER@CITYOFFIRCREST.NET CONTACT: SCOTT PRINGLE, CITY MANAGER EMAIL: SPRINGEL@CITYOFFIRCREST.NET	<b>ARCHITECT:</b> ARC ARCHITECTS CONTACT: STAN LOKTING, PRINCIPAL EMILY WHEELER, PRINCIPAL MATTHEW PHILBROOK 119 S MAIN ST,   STE 200 SEATTLE, WA 98104 PH: 206-322-3322 EMAIL: LOKTING@ARCARCHITECTS.COM WHEELER@ARCARCHITECTS.COM PHILBROOK@ARCARCHITECTS.COM	<b>AQUATICS:</b> COUNSILMAN-HUNSAKER CONTACT: DOUG COOK, PRINCIPAL MICHAEL MOREHART, P.M. 10733 SUNSET OFFICE DR.   4TH FLR ST. LOUIS, MO 63127 PH: 314-894-1245 EMAIL: DOUGCOOK@CHH2O.COM MICHAELMOREHART@CHH2O.COM	<b>GEOTECHNICAL ENGINEER:</b> GEOENGINEERS CONTACT: DENNIS THOMPSON, P.M. 1101 FAWCETT AVE, SUITE 200 TACOMA, WA 98402 PH: 253-722-2446
<b>LANDSCAPE ARCHITECT:</b> BRUCE DEES ASSOCIATES CONTACT: RACHEL LINGARD DENRICK EBERLE, PROJECT MANAGER 222 EAST 26TH ST. # 206 SEATTLE, WA 98421 PH: (253) 627-7947 EMAIL: RLINGARD@BDASSOCIATES.COM DEBERLE@BDASSOCIATES.COM	<b>CIVIL ENGINEER:</b> AHBL CONTACT: DAVID NASON, P.M. & LUCAS JOHNSON 2215 N. 30TH ST. TACOMA, WA 98403 PH: (253) 383-2422 EMAIL: DNASON@AHBL.COM, LJOHNSON@AHBL.COM	<b>STRUCTURAL ENGINEER:</b> PCS STRUCTURAL SOLUTIONS CONTACT: JIM COLLINS, PRINCIPAL 1200 PACIFIC AVE, SUITE 701 TACOMA, WA 98402 PH: (253) 383-2797 EMAIL: JCOLLINS@PCS-STRUCTURAL.COM	<b>COST ESTIMATE:</b> DCW COST MANAGEMENT CONTACT: TRISH DREW, PRINCIPAL ANDREW JOHNSON 500 YALE AVENUE NORTH, SUITE 100 SEATTLE, WA 98109 PH: 206-718-2840 EMAIL: TRISH@DCWCOST.COM
<b>MECHANICAL ENGINEER:</b> FSI, INC. CONTACT: ANDY LANGDON, P.M. SAM DOUGLAS, P.M. 606 2ND AVE, SUITE 700 SEATTLE, WA 98104 EMAIL: ANDYL@FSI-ENGINEERS.COM SAMDO@FSI-ENGINEERS.COM	<b>ELECTRICAL ENGINEER:</b> TRAVIS FITZMAURICE CONTACT: APRILLE BALANQUE, PRINCIPAL 1200 WESTLAKE AVE. N, SUITE 509 SEATTLE, WA 98109 PH: 206-285-7228 EMAIL: APRILLE@TRAVISFITZMAURICE.COM	<b>HISTORIC ARCHITECTURE:</b> NW VERNACULAR CONTACT: SPENCER HOWARD EMAIL: SPENCER@NWWVP.COM	

### LEGEND

ROOM NAME 101	ROOM NAME ROOM NUMBER	EXTERIOR ELEVATION A10	DRAWING # SHEET #	DETAILS DETAIL # SHEET #
	DIMENSION POINT OR ELEVATION	INTERIOR ELEVATION A10	DRAWING # SHEET #	DETAILS THAT ARE SIMILAR TO THE DETAIL SHOWN DETAIL # SHEET #
	PARTITION TYPE - SEE A7.1	BUILDING SECTION A11	DRAWING # SHEET #	DETAILS THAT ARE TYPICAL AND WILL OCCUR IN MULTIPLE LOCATIONS DETAIL # SHEET #
	DOOR NUMBER SEE A7.1	BUILDING SECTION A11	DRAWING # SHEET #	

### PROJECT DESCRIPTION

PHASE 1 - DEMOLITION OF EXISTING BUILDING AS SHOWN INCLUDING EXISTING LOCKER ROOMS AND POOL PUMP ROOM. CONSTRUCTION OF NEW 4,500 SF BATHHOUSE AND 2 OUTDOOR POOLS. PROJECT INCLUDES POOL DECKS, FENCING, SITE WORK, UTILITIES, NEW PARKING AND LANDSCAPING

PHASE 2 - DEMOLITION OF THE COMMUNITY CENTER AND EXCAVATION OF EXISTING FOUNDATIONS AND UTILITIES FOR NEW BUILDING. CONSTRUCTION OF NEW 15,000 SF COMMUNITY CENTER INCLUDING PARKING LOT, PATIOS, UTILITIES AND LANDSCAPING.

PHASE 3 - PROPOSED DIAGONAL PARKING ALONG CONTRA COSTA AVE AND ELECTRON WAY. THE CITY IS LOOKING TO INCREASE PARKING ALONG BOTH STREETS AND PROVIDE THIS AS PART OF THE MASTERPLANNING FOR THE PARK.

### SHEET INDEX

<b>GENERAL</b> T0.0 SITE DEV. PERMIT - PROJECT INFORMATION T1.1 TOPOGRAPHIC SURVEY - NORTH T1.2 TOPOGRAPHIC SURVEY - SOUTH	<b>ELECTRICAL</b> E1.1 ELECTRICAL SITE PLAN - PHASE 1 E1.2 ELECTRICAL SITE PLAN - PHASE 2
<b>CIVIL</b> C0.0 CIVIL SITE PLAN C1.0 CIVIL TESC & DEMOLITION PLAN - PHASE 1 C1.1 CIVIL TESC & DEMOLITION PLAN - PHASE 2	<b>ARCHITECTURAL</b> P-A2.1 BATHHOUSE FLOOR PLAN P-A2.2 POOL AND DECK PLAN P-A3.1 BATHHOUSE EXTERIOR ELEVATIONS P-A3.2 BATH HOUSE AND POOL PERSPECTIVES
<b>LANDSCAPE</b> L0.0 LANDSCAPE SITE PLAN - FULL SITE GRAPHIC L1.0 LANDSCAPE PLAN - PHASE 1 L1.1 LANDSCAPE PLAN - PHASE 2	<b>C-A2.1 COMMUNITY CENTER FLOOR PLAN C-A3.1 COMMUNITY CENTER EXTERIOR ELEVATIONS C-A3.2 COMMUNITY CENTER EXTERIOR ELEVATIONS C-A3.3 COMMUNITY CENTER PERSPECTIVES</b>

### GOVERNING CODES

2015 INTERNATIONAL BUILDING CODE - WASHINGTON STATE AMENDMENTS  
ICC/ANSI 1171-2009 ACCESSIBILITY CODE WITH WASHINGTON STATE AMENDMENTS  
2015 ENERGY CODE - WASHINGTON STATE AMENDMENTS  
2015 INTERNATIONAL MECHANICAL CODE  
2015 UNIFORM PLUMBING CODE  
2014 NATIONAL ELECTRICAL CODE  
2015 UNIFORM FIRE CODE

FIRCREST COMMUNITY  
CENTER AND POOL  
555 CONTRA COSTA AVENUE FIRCREST, WA 98466



### SITE MASTERPLAN SUBMITTAL

ISSUE DATE: FEBRUARY 7, 2019

REVISION SCHEDULE - NO PERMIT CLOUDS SHOWN IN BID SET		
Rev #	Date	Description

### CONTENTS: SITE DEVELOPMENT PERMIT

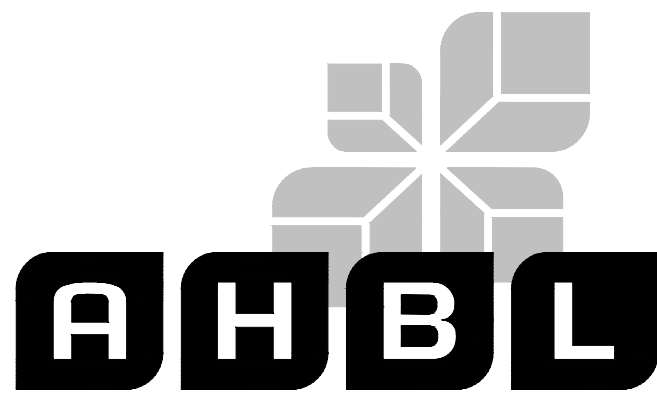
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CHECKED: EGW  
PROJECT NO: 2018008.00

SHEET:  
T0.0



# FIRCREST COMMUNITY CENTER

A PORTION OF THE NW 1/4 OF THE SE 1/4 OF SEC. 11, TWN. 20 N., RGE. 02 E. W.M.  
CITY OF FIRCREST, PIERCE COUNTY, WASHINGTON.



2215 North 30th Street, Suite 300 Tacoma, WA 98403  
253.383.2422 TEL 253.383.2572 FAX www.ahbl.com WEB

Project Title:

**FIRCREST  
COMMUNITY  
CENTER**

Client:

ARC ARCHITECTS

119 SOUTH MAIN STREET, SUITE 200  
SEATTLE, WA 98104-2579

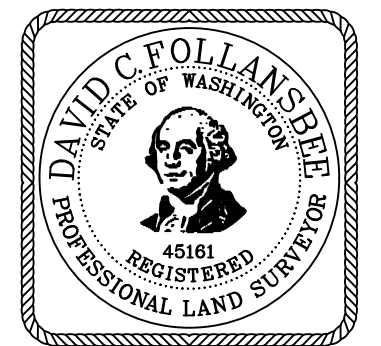
STAN LOKTING

Job No.

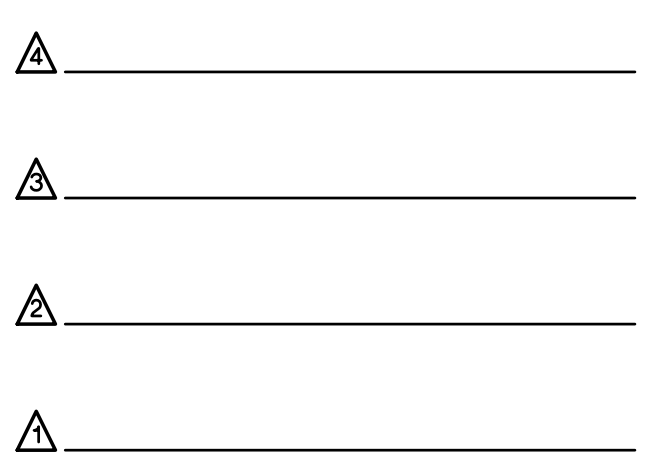
2180144.50

Issue Set & Date:

MAY 21, 2018



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Revisions:

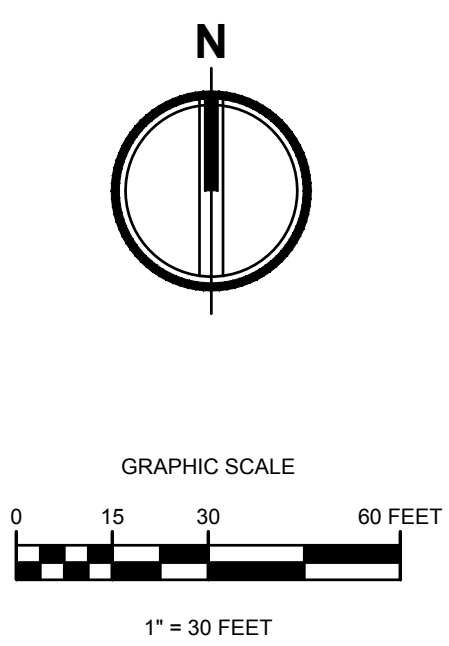
Sheet Title:

**TOPOGRAPHIC  
SURVEY**

Designed by: Drawn by: Checked by:  
TD DF

Sheet No.

**T1.1**



## LEGAL DESCRIPTION

PER PIERCE COUNTY ASSESSOR  
BLOCK 45 OF REGENTS PARK 2ND ADDITION, RECORDED IN VOLUME 8 OF  
PLATS AT PAGE 86, RECORDS OF PIERCE COUNTY, WASHINGTON.  
EXCEPT LOTS 6-9 AND LOTS 12-14 THEREOF.

## VERTICAL DATUM

NAVD 1988 VERTICAL DATUM ON ORTHOMETRICALLY CORRECTED GPS  
OBSERVATIONS USING WSRN AND GEOID 2012A. UNITS OF MEASUREMENT  
ARE US SURVEY FEET.

## BASIS OF BEARING

NAD 1983  
WASHINGTON STATE PLANE SOUTH PROJECTION, BASED ON GPS  
OBSERVATIONS USING WSRN AND GEOID 2012A. UNITS OF MEASUREMENT  
ARE US SURVEY FEET.

## UTILITY NOTES

1. SURFACE UTILITY FACILITIES ARE SHOWN HEREON PER FIELD LOCATED  
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THAN THOSE GRAPHICALLY DEPICTED HEREON.
2. UNDERGROUND (BURIED) UTILITIES SHOWN HEREON ARE BASED ON  
COMBINATIONS OF VISIBLE SURFACE EVIDENCE, UTILITY LOCATOR MARKINGS  
AND RECORD DATA (SUCH AS AS-BUILT OR UTILITY DESIGN DRAWINGS). ALL  
UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND, IN SOME  
CASES, ARE SHOWN AS STRAIGHT LINES BETWEEN FIELD LOCATED SURFACE  
UTILITY FACILITIES. UNDERGROUND UTILITIES MAY HAVE BENDS, CURVES OR  
CONNECTIONS WHICH ARE NOT SHOWN.
3. ALTHOUGH LOCATIONS OF UNDERGROUND UTILITIES BASED ON UTILITY  
LOCATOR MARKINGS AND RECORD DATA (SUCH AS AS-BUILT OR UTILITY  
DESIGN DRAWINGS) ARE DEEMED RELIABLE, AHBL, INC. ASSUMES NO  
LIABILITY FOR THE ACCURACY OF SAID DATA.
4. CALL 1-800-424-5555 BEFORE ANY CONSTRUCTION.

## RELIANCE NOTE

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OR USE THIS SURVEY DO NOT EXTEND TO ANY OTHER PARTY EXCEPT  
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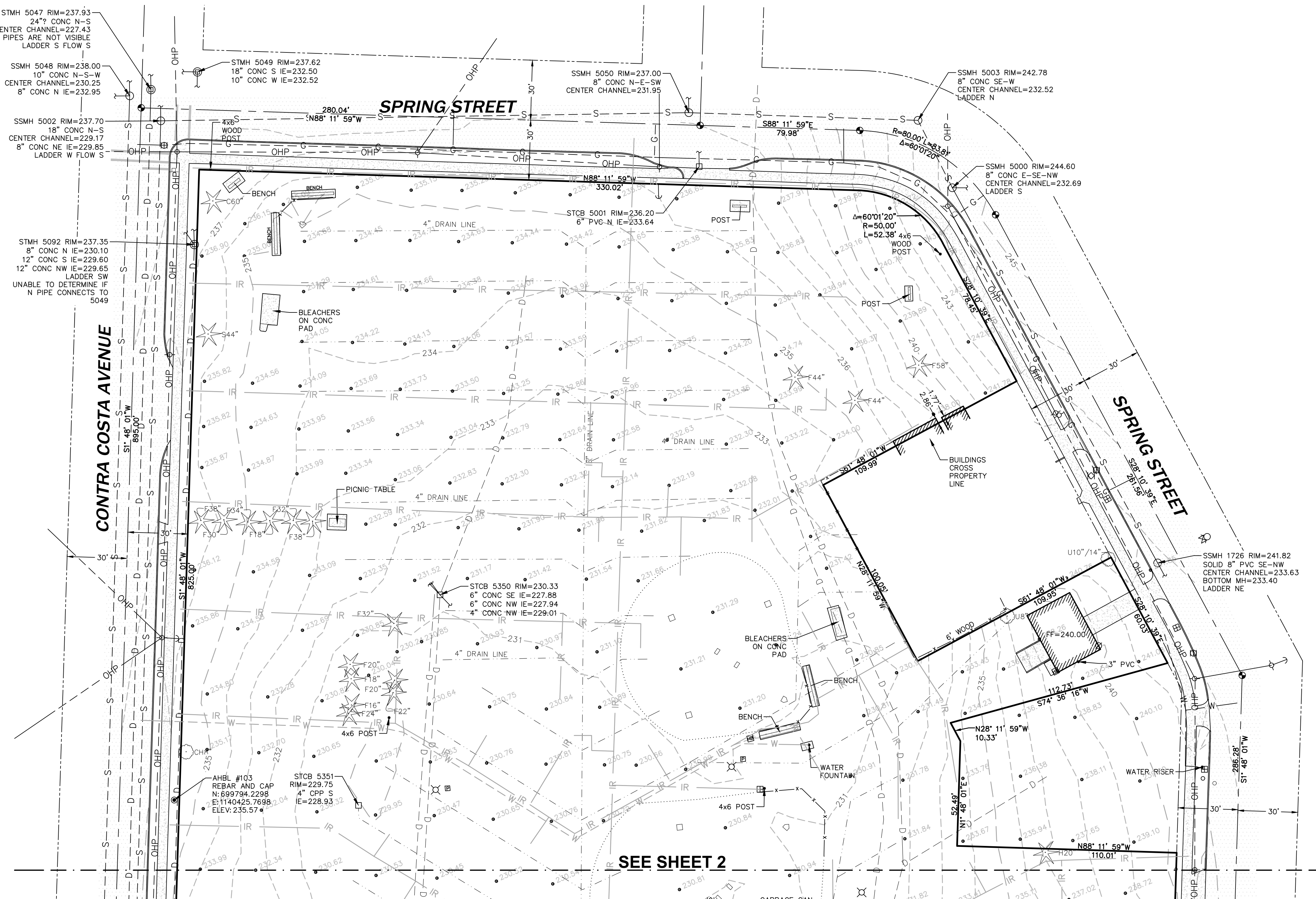
## EQUIPMENT USED

3" TOTAL STATION UTILIZING STANDARD FIELD TRAVERSE METHODS FOR  
CONTROL AND STAKING.

## SURVEYOR'S CERTIFICATE

I, DAVID C. FOLLANSBEE, A PROFESSIONAL LAND SURVEYOR IN THE STATE  
OF WASHINGTON, HEREBY CERTIFY THAT THIS MAP CORRECTLY REPRESENTS  
A SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION IN MAY 2018,  
AT THE REQUEST OF ARC ARCHITECTS.

DAVID C. FOLLANSBEE, PLS 45161 DATE



## LEGEND

- |   |                         |   |                           |
|---|-------------------------|---|---------------------------|
| △ | FOUND MONUMENT          | ⊠ | GAS VALVE                 |
| △ | SET NAIL AND WASHER     | ⊠ | UTILITY CABINET           |
| ● | SET REBAR AND CAP       | ⊠ | POWER TRANSFORMER         |
| ○ | FOUND PROPERTY CORNER   | ⊠ | GUY ANCHOR                |
| ⊙ | MONITORING WELL         | ⊠ | UTILITY POWER POLE        |
| ○ | BOLLARD                 | ⊠ | JUNCTION BOX              |
| □ | MAIL BOX                | ⊠ | POWER METER               |
| □ | SIGN AS NOTED           | ⊠ | POWER VAULT               |
| □ | UNKNOWN VAULT           | ⊠ | LUMINAIRE                 |
| ○ | SANITARY SEWER CLEANOUT | ⊠ | TELEPHONE RISER           |
| ○ | SANITARY SEWER MANHOLE  | ⊠ | TELEPHONE VAULT           |
| ○ | STORM CLEANOUT          | ⊠ | FIRE HYDRANT              |
| ○ | STORM CATCH BASIN       | ⊠ | HOSE BIB                  |
| ○ | STORM MANHOLE           | ⊠ | IRRIGATION CONTROL VALVE  |
| ○ | YARD DRAIN              | ⊠ | WATER METER               |
| ○ | ROOF DRAIN              | ⊠ | WATER VALVE               |
| ○ | CABLE RISER             | ⊠ | WATER VAULT               |
| ○ | GAS METER               | ⊠ | C-CEDAR, F-FIR, H-HEMLOCK |
| ○ |                         | ⊠ | P-PINE, S-SPRUCE          |
| ○ |                         | ⊠ | CH-CHERRY, U-UNKNOWN      |

- |     |          |                         |
|-----|----------|-------------------------|
| --- | D        | STORM LINE PER RECORDS  |
| --- | IR       | FIELD DRAIN PER RECORDS |
| --- | W        | WATER LINE              |
| --- | D        | WATER LINE PER RECORDS  |
| --- | S        | SEWER LINE              |
| --- | W        | WATER LINE              |
| --- | G        | GAS LINE                |
| --- | P        | ELECTRICAL LINE         |
| --- | T        | COMMUNICATION LINE      |
| --- | ?        | UNKNOWN LOCATE PAINT    |
| --- | OHP      | OVERHEAD UTILITIES      |
| --- | X        | FENCE                   |
| --- | ASPHALT  |                         |
| --- | CONCRETE |                         |



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**A PORTION OF THE NW 1/4 OF THE SE 1/4 OF SEC. 11, TWN. 20 N., RGE. 02 E. W.M.**  
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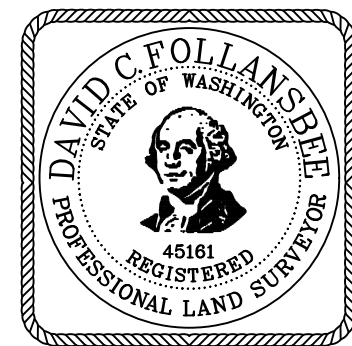
119 SOUTH MAIN STREET, SUITE 200  
SEATTLE, WA 98104-2579  
STAN LOKTING

Job No.

2180144.50

Issue Set & Date:

MAY 21, 2018



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Revisions:

Sheet Title:

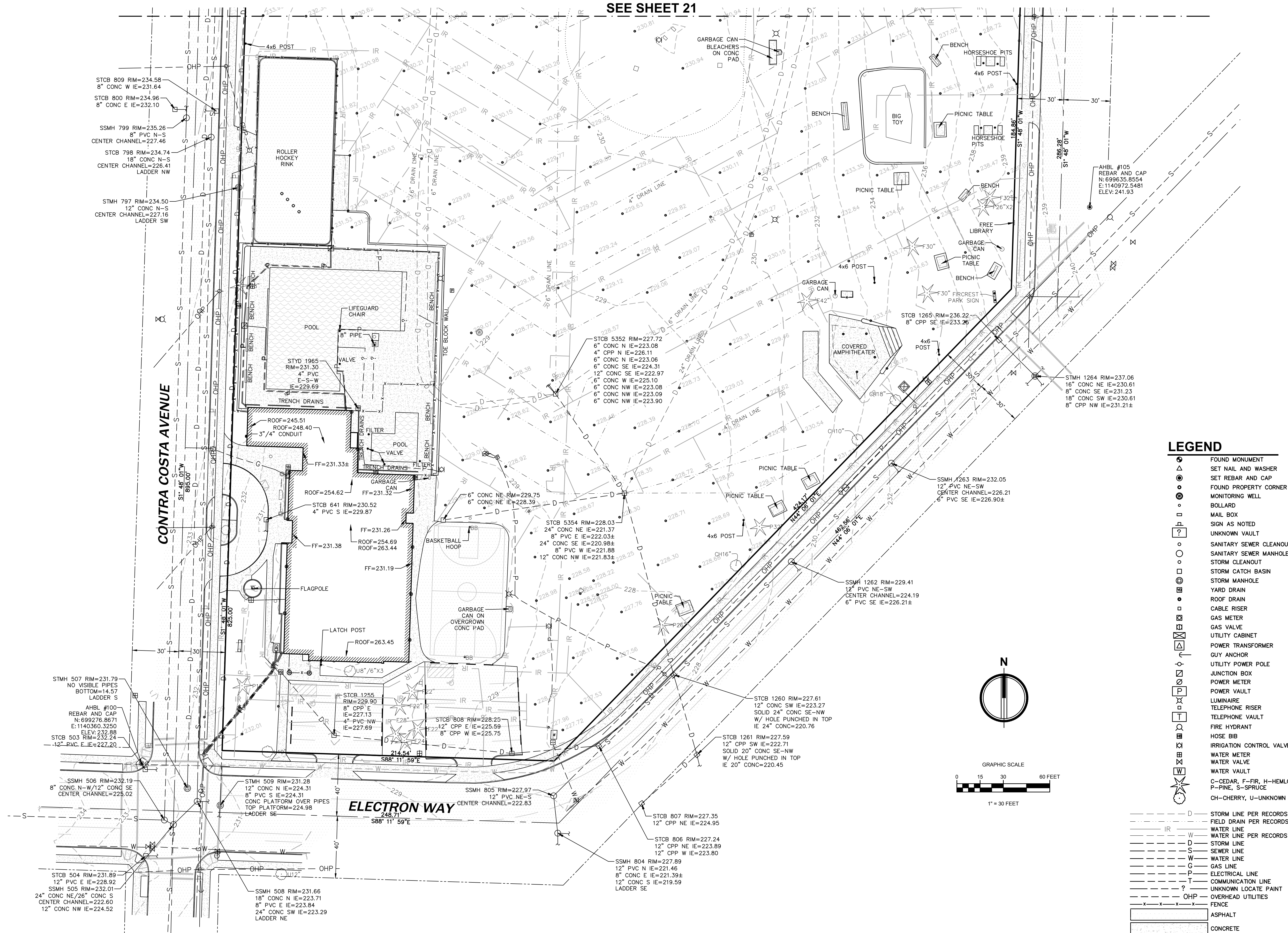
**TOPOGRAPHIC  
SURVEY**

Designed by: Drawn by: Checked by:  
TD DF

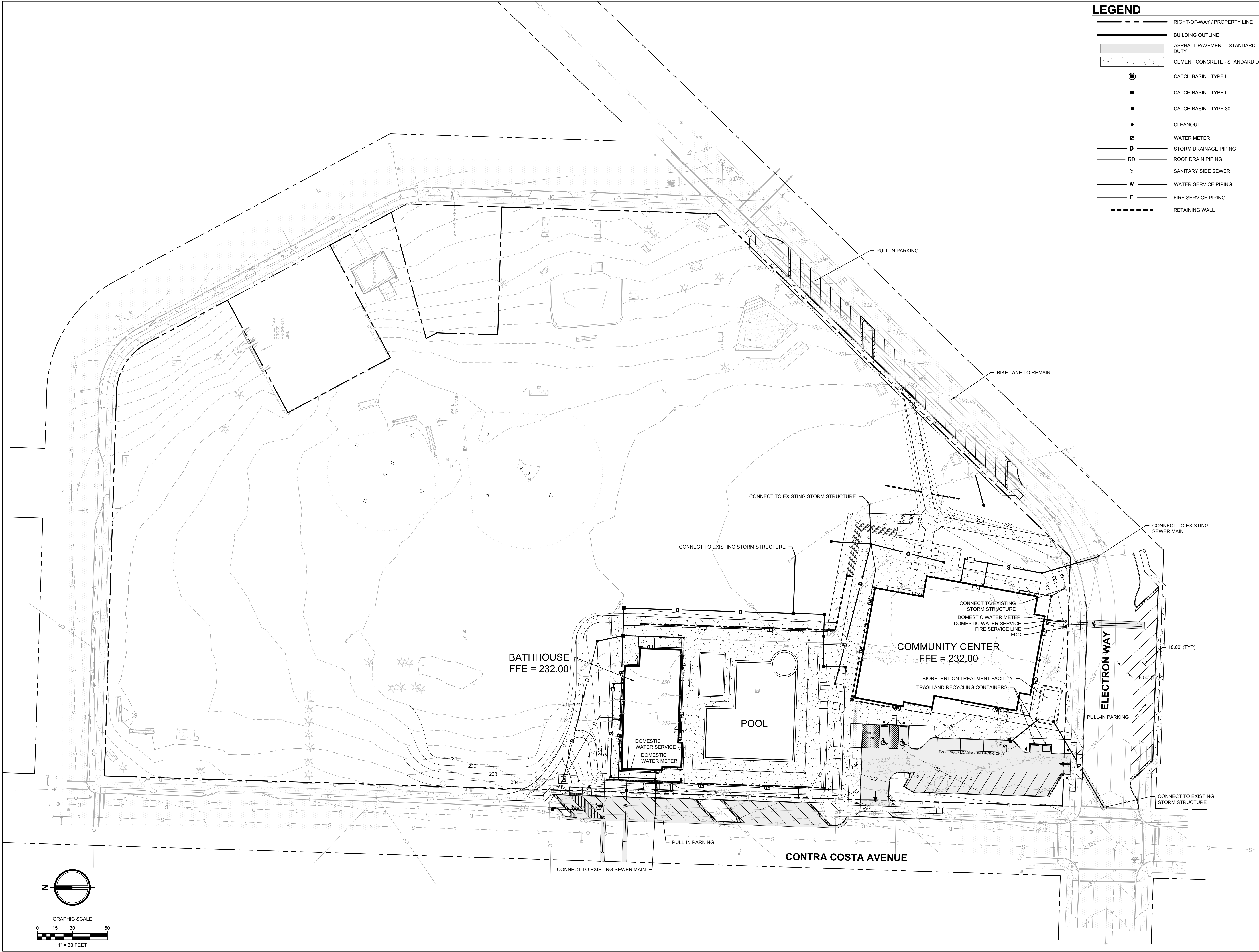
Sheet No.

**T1.2**

SEE SHEET 21







- LEGEND**
- RIGHT-OF-WAY / PROPERTY LINE
  - BUILDING OUTLINE
  - ASPHALT PAVEMENT - STANDARD DUTY
  - CEMENT CONCRETE - STANDARD DUTY
  - CATCH BASIN - TYPE II
  - CATCH BASIN - TYPE I
  - CATCH BASIN - TYPE 30
  - CLEANOUT
  - WATER METER
  - STORM DRAINAGE PIPING
  - ROOF DRAIN PIPING
  - SANITARY SIDE SEWER
  - WATER SERVICE PIPING
  - FIRE SERVICE PIPING
  - RETAINING WALL

**ar|c**  
architecture resource collaborative  
119 MAIN ST, STE #200  
SEATTLE, WA 98104-2579  
(206) 322-3322

**FIRCREST COMMUNITY CENTER AND POOL**  
555 CONTRA COSTA AVENUE    FIRCREST, WA    98466

  
**THE CITY OF FIRCREST**

**MAJOR SITE PLAN REVIEW SUBMITTAL**

ISSUE DATE: FEBRUARY 5, 2019

REVISION SCHEDULE - NO PERMIT CLOUDS SHOWN IN BID SET

Rev #	Date	Description
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CONTENTS

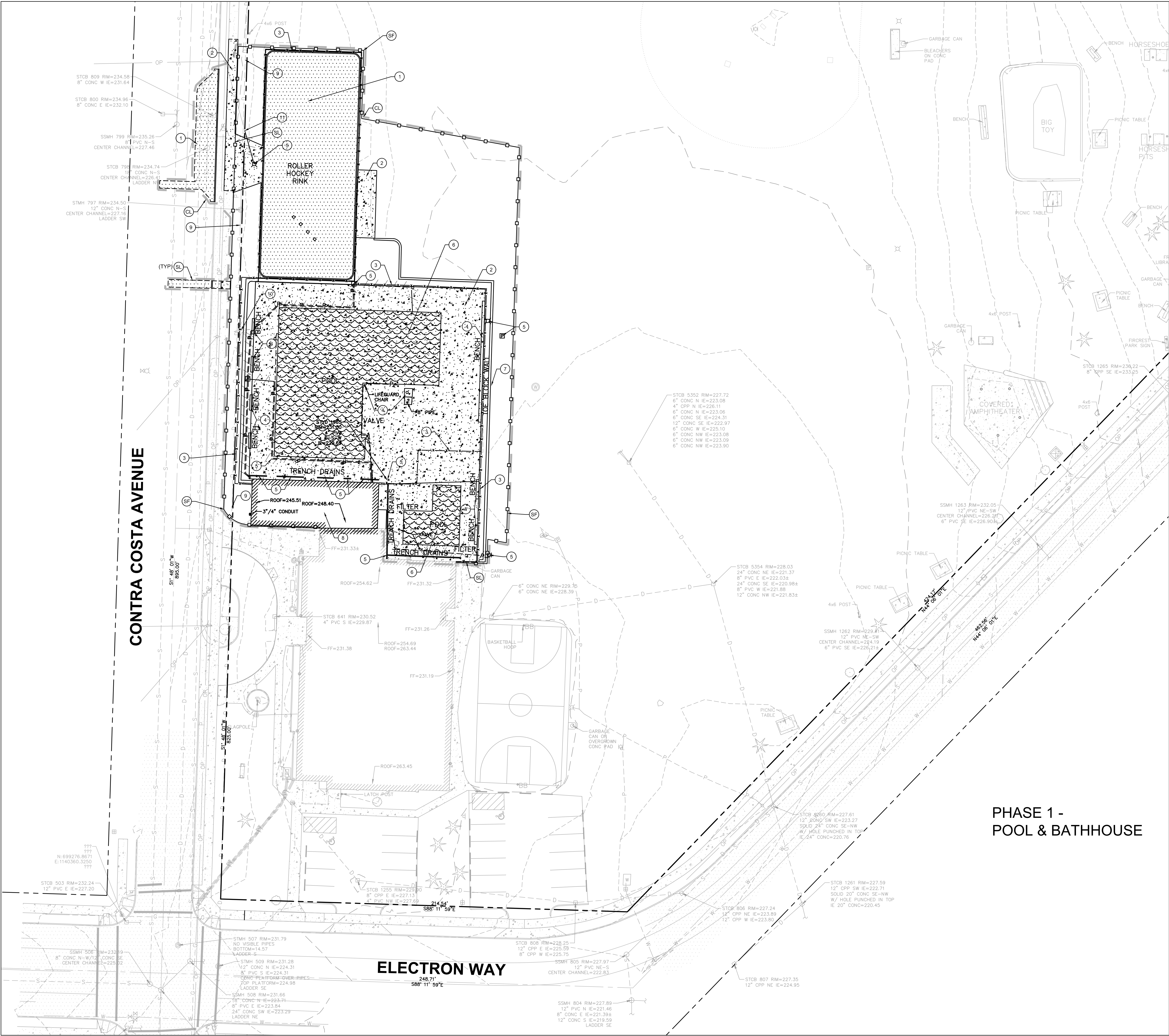
SITE PLAN

SCALE:  
DRAWN:  
CHECKED:  
PROJECT NO: 2018008.00

SHEET:

**C1.0**





**LEGEND**

- RIGHT-OF-WAY / PROPERTY LINE
- CLEARING / PROJECT LIMITS
- CONSTRUCTION ENTRANCE
- REMOVE EXISTING ASPHALT
- REMOVE EXISTING CONCRETE
- 2" ASPHALT GRIND AND OVERLAY
- SILT FENCE
- INLET PROTECTION
- INTERCEPTOR SWALE
- SAWCUT LINE
- ROCK CHECK DAM
- REMOVE EXISTING UTILITY
- REMOVE EXISTING TREE
- EXISTING TREE TO REMAIN

- KEYNOTES**
- REMOVE EXISTING ASPHALT PAVEMENT.
  - REMOVE EXISTING CEMENT CONCRETE.
  - REMOVE EXISTING FENCE.
  - REMOVE EXISTING SITE FEATURE.
  - REMOVE EXISTING UTILITY.
  - REMOVE EXISTING POOL.
  - REMOVE EXISTING WALL.
  - REMOVE EXISTING BUILDING. REFER TO ARCHITECTURAL PLANS FOR BUILDING DEMOLITION LIMITS.
  - PROTECT EXISTING UTILITY. TO REMAIN.
  - PROTECT EXISTING TREE. TO REMAIN.
  - REMOVE EXISTING OVERHEAD POWER LINE. COORDINATE REMOVAL WITH TPU.

**arc**  
architecture resource collaborative  
119 MAIN ST, STE #200  
SEATTLE, WA 98104-2579  
(206) 322-3322

**FIRCREST COMMUNITY  
CENTER & POOL**  
555 CONTRA COSTA AVE, FIRCREST WA



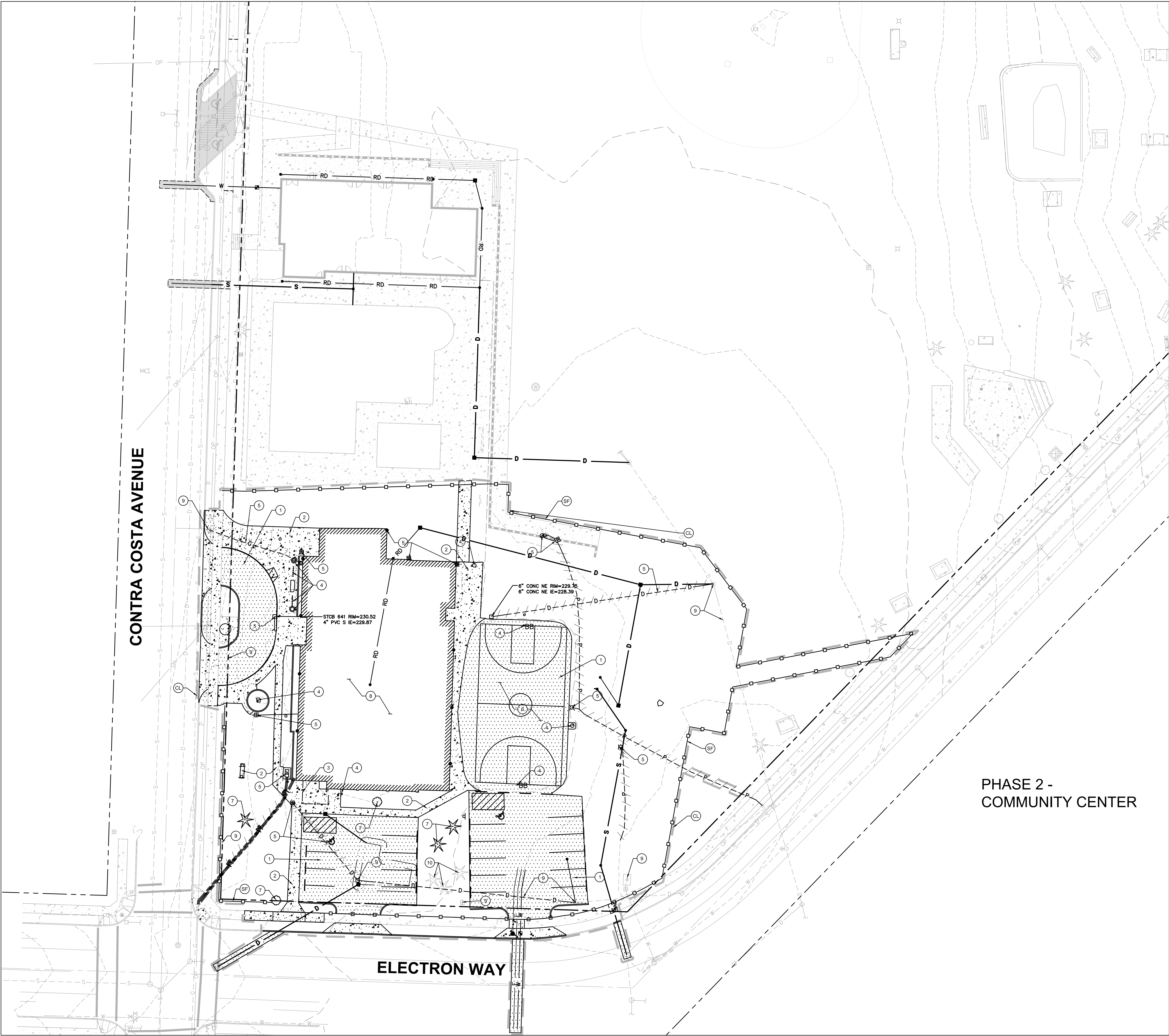
**SITE  
MASTERPLAN  
SUBMITTAL**

REVISION SCHEDULE - NO PERMIT CLOUDS SHOWN IN BID SET		
Rev #	Date	Description

CONTENTS	
TESC & DEMOLITION PLAN	
SCALE:	As Indicated
DRAWN:	RS / WAT
CHECKED:	LJI
PROJECT NO:	2018008.00
SHEET:	

**C1.0**





**LEGEND**

- RIGHT-OF-WAY / PROPERTY LINE
- CLEARING / PROJECT LIMITS
- CONSTRUCTION ENTRANCE
- REMOVE EXISTING ASPHALT
- REMOVE EXISTING CONCRETE
- 2" ASPHALT GRIND AND OVERLAY
- SILT FENCE
- INLET PROTECTION
- INTERCEPTOR SWALE
- SAWCUT LINE
- ROCK CHECK DAM
- REMOVE EXISTING UTILITY
- REMOVE EXISTING TREE
- EXISTING TREE TO REMAIN

- KEYNOTES**
- 1 REMOVE EXISTING ASPHALT PAVEMENT.
  - 2 REMOVE EXISTING CEMENT CONCRETE.
  - 3 REMOVE EXISTING FENCE.
  - 4 REMOVE EXISTING SITE FEATURE.
  - 5 REMOVE EXISTING UTILITY.
  - 6 REMOVE EXISTING BASKETBALL COURT.
  - 7 REMOVE EXISTING TREE.
  - 8 REMOVE EXISTING BUILDING.
  - 9 PROTECT EXISTING UTILITY, TO REMAIN.
  - 10 PROTECT EXISTING TREE, TO REMAIN.

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**FIRCREST COMMUNITY  
CENTER & POOL**  
555 CONTRA COSTA AVE, FIRCREST WA



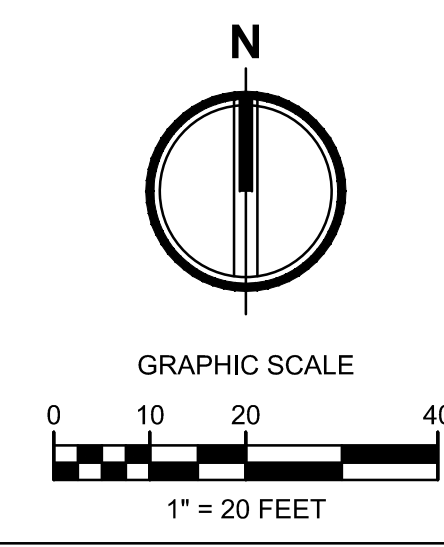
**SITE  
MASTERPLAN  
SUBMITTAL**

REVISION SCHEDULE - NO PERMIT  
CLOUDS SHOWN IN BID SET

Rev #	Date	Description

CONTENTS

TESC & DEMOLITION PLAN
SCALE: As Indicated
DRAWN: RS / WAT
CHECKED: LDI
PROJECT NO: 2018008.00
SHEET:



**C1.1**



# FIRCREST COMMUNITY CENTER AND POOL

555 CONTRA COSTA AVENUE FIRCREST, WA 98466



## SITE PLAN

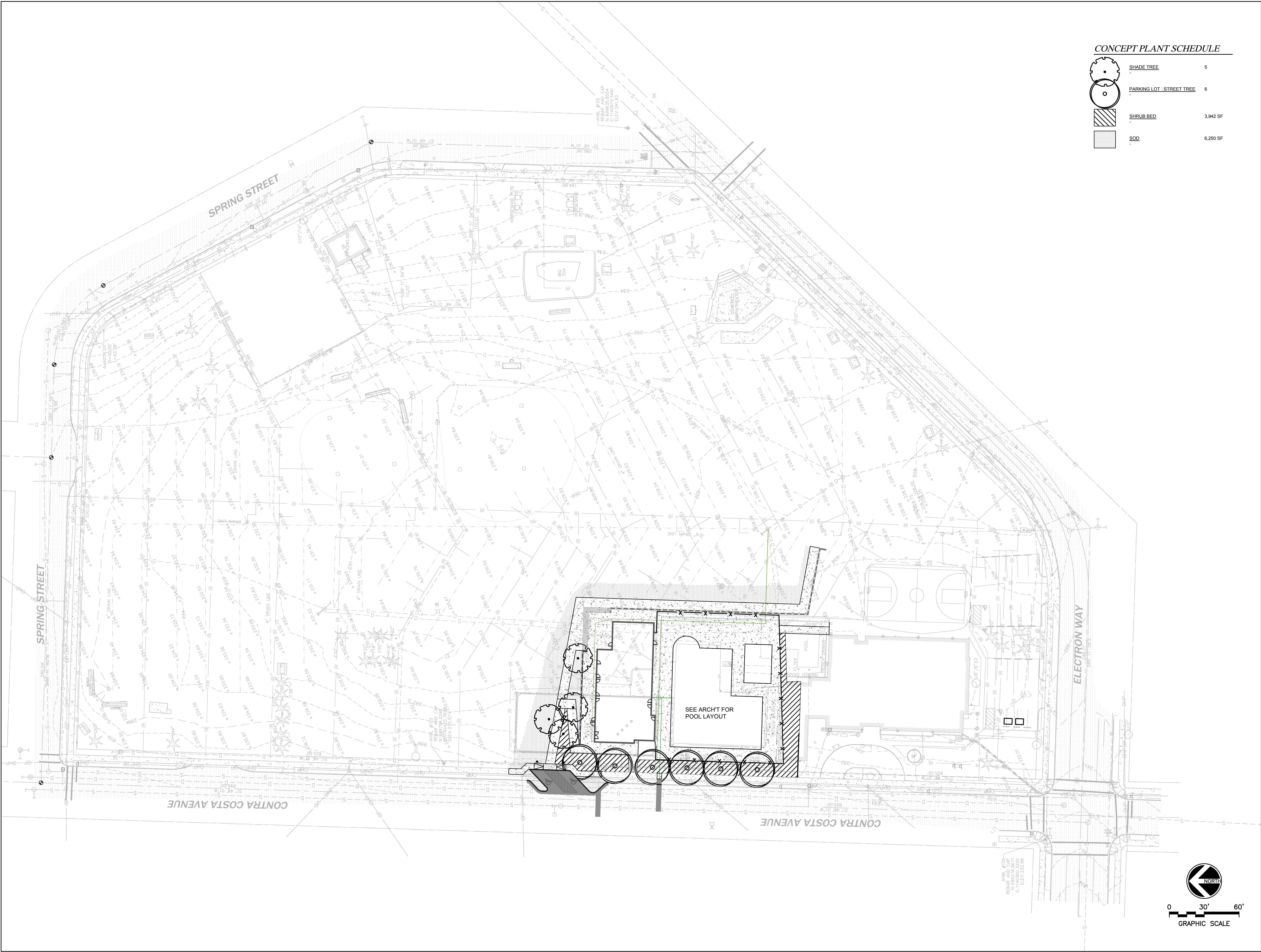
April 30, 2019



0 15 30 60  
1" = 30 FEET







CONCEPT PLANT SCHEDULE

SHADE TREE	5
PARKING LOT / STREET TREE	6
SHRUB BED	3,942 SF
SOD	6,250 SF

FIRCREST COMMUNITY  
CENTER AND POOL  
555 CONTRA COSTA AVENUE FIRCREST, WA 98466

SITE  
MASTERPLAN  
SUBMITTAL

ISSUE DATE: JANUARY 30, 2019

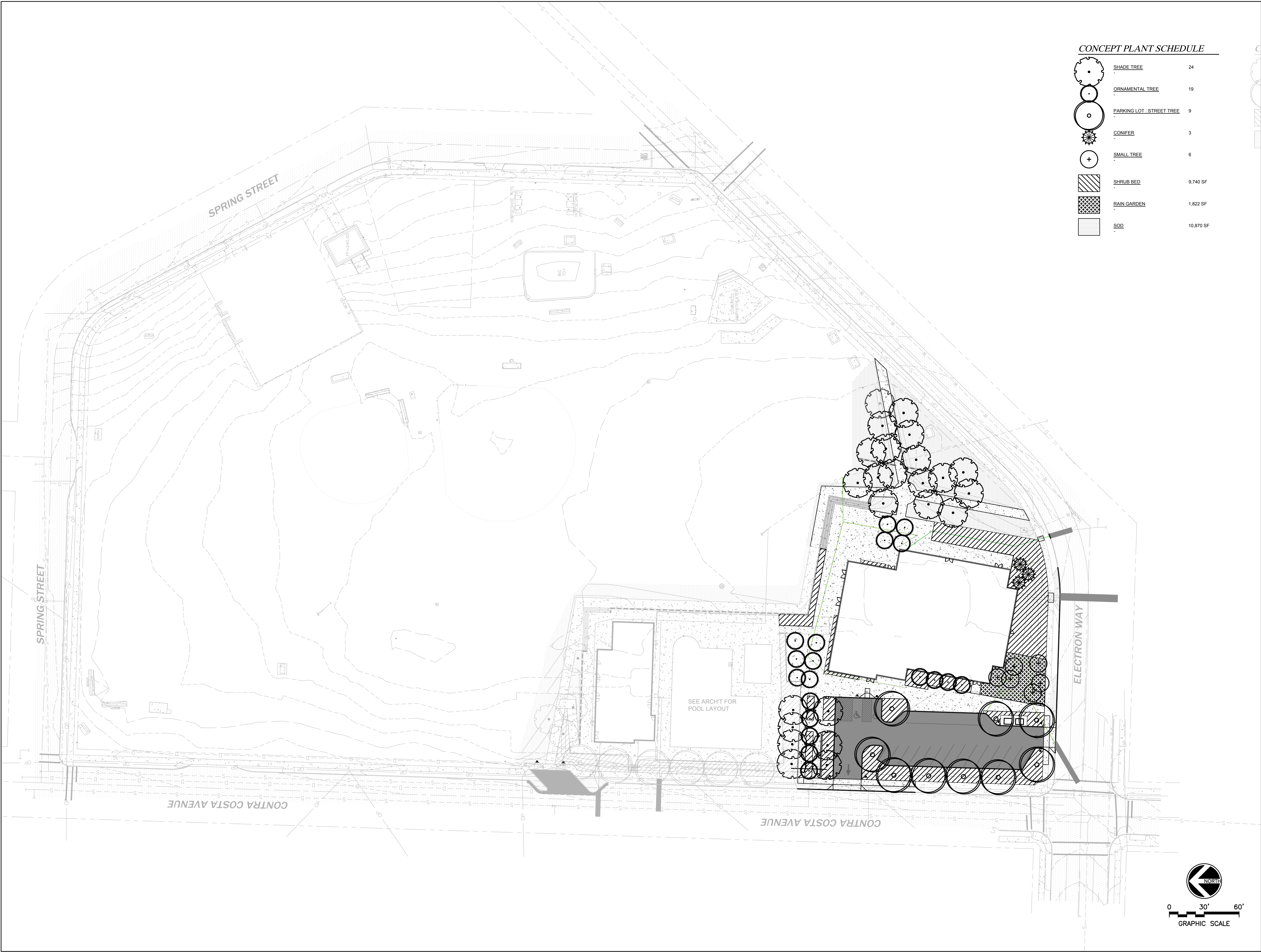
CONTENTS:  
BATHHOUSE  
LANDSCAPING

SCALE:  
DRAWN:  
CHECKED:  
PROJECT NO: 2018008.00

SHEET:

L1.0





CONCEPT PLANT SCHEDULE

	SHADE TREE	24
	ORNAMENTAL TREE	19
	PARKING LOT / STREET TREE	9
	CONIFER	3
	SMALL TREE	6
	SHRUB BED	9,740 SF
	RAIN GARDEN	1,822 SF
	SOD	10,870 SF

FIRCREST COMMUNITY  
CENTER AND POOL

555 CONTRA COSTA AVENUE FIRCREST, WA 98466

SITE  
MASTERPLAN  
SUBMITTAL

ISSUE DATE: JANUARY 30, 2019

CONTENTS:  
COMM. CENTER  
LANDSCAPING

SCALE:  
DRAWN:  
CHECKED:  
PROJECT NO. 2018008.00

SHEET:  
L1.1



FIRCREST COMMUNITY  
POOL AND BATH HOUSE  
545 CONTRA COSTA AVENUE FIRCREST, WA 98466



SITE  
MASTERPLAN  
SUBMITTAL

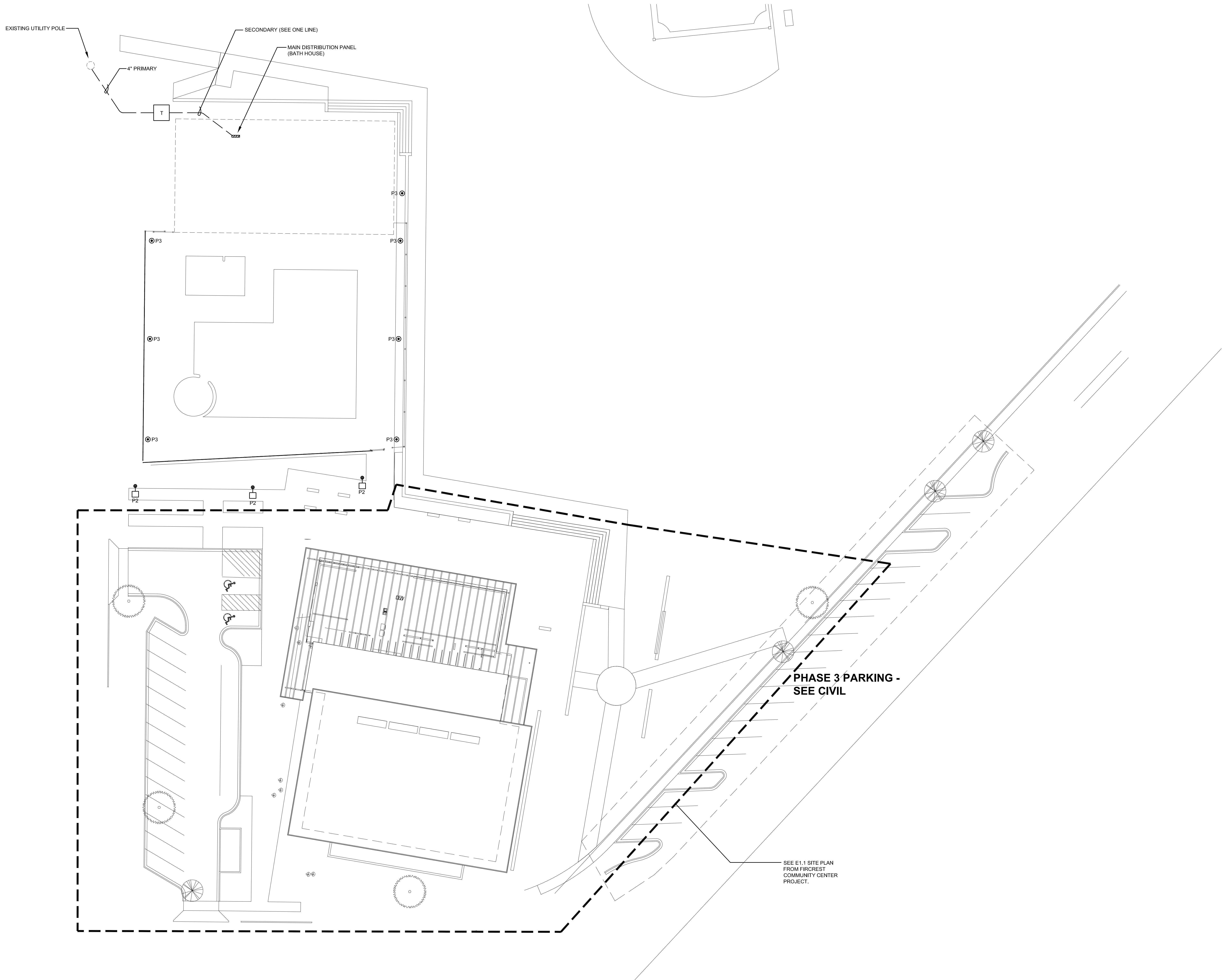
REVISION SCHEDULE - NO PERMIT CLOUDS SHOWN IN BID SET		
Rev #	Date	Description

CONTENTS:  
**BATHHOUSE  
SITE PLAN -  
ELECTRICAL**

SCALE: 1/4" = 1'-0"  
DRAWN: Author  
CHECKED: Checker  
PROJECT NO: 2018008.00

SHEET:

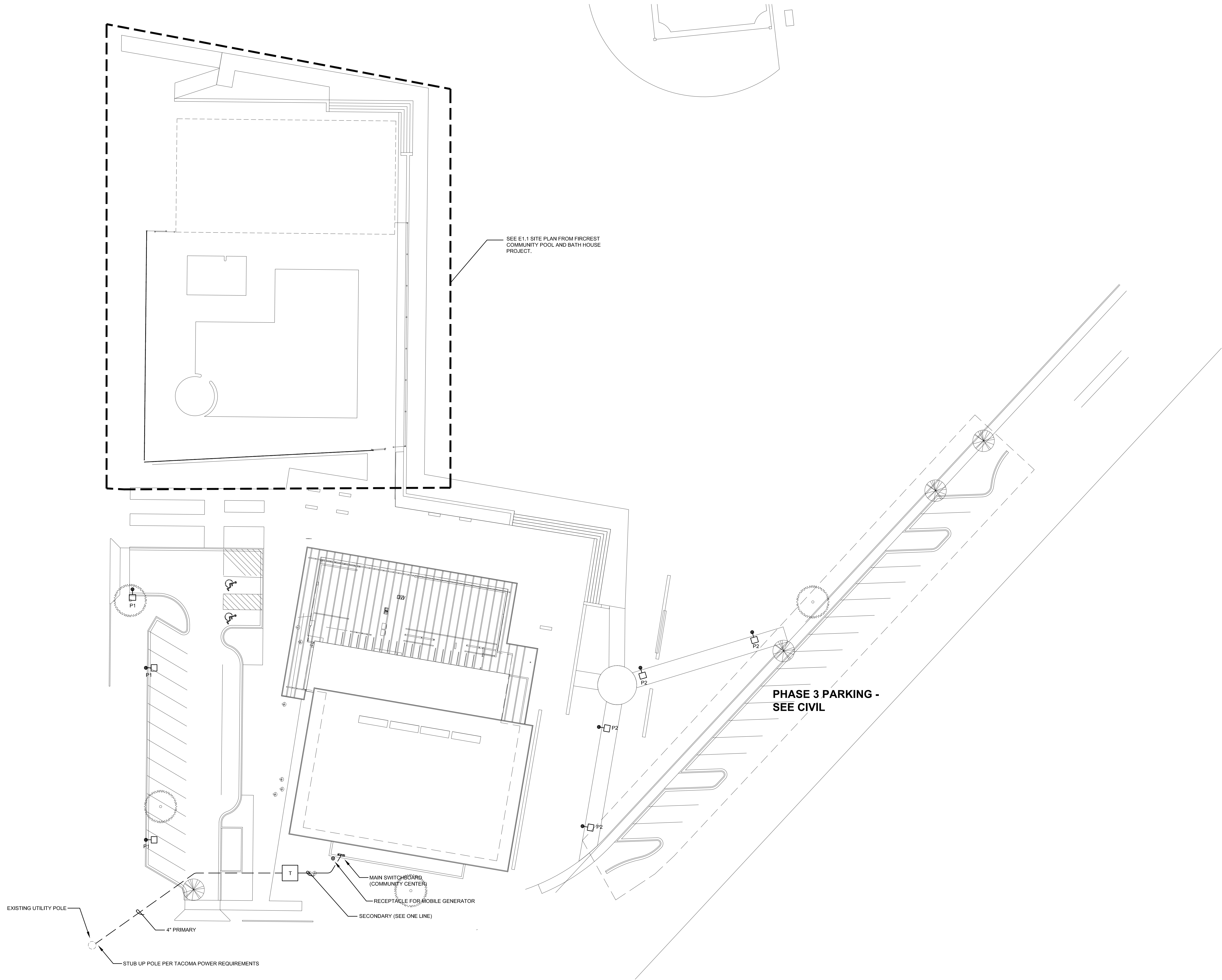
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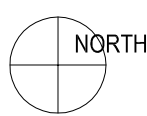
1 SITE PLAN- NEW WORK - ELECTRICAL  
1" = 20'-0"







1 SITE PLAN- NEW WORK - ELECTRICAL  
1" = 20'-0"







**SITE  
MASTERPLAN  
SUBMITTAL**

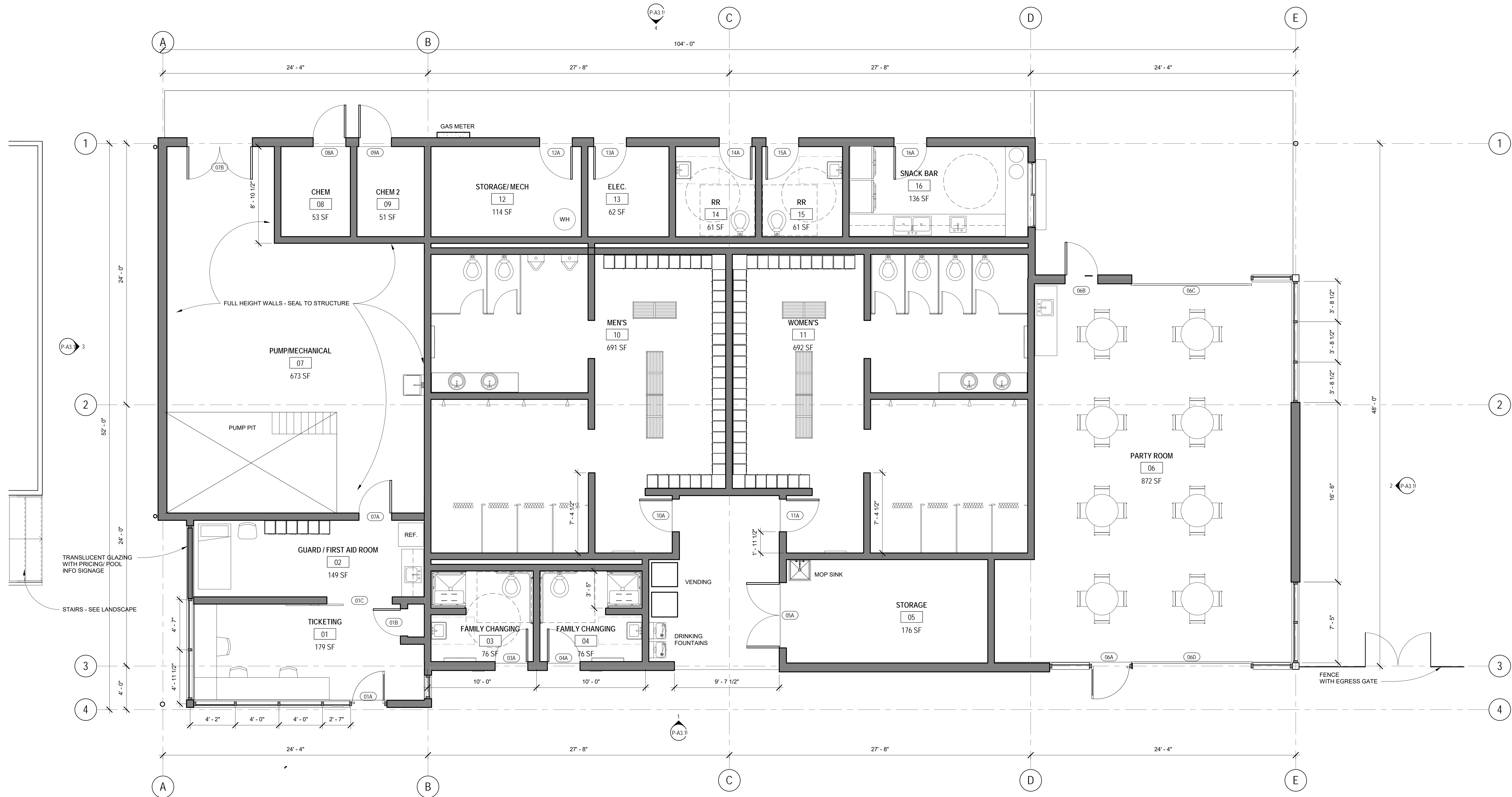
ISSUE DATE: FEBRUARY 7, 2019

REVISION SCHEDULE - NO PERMIT CLOUDS SHOWN IN BID SET		
Rev #	Date	Description

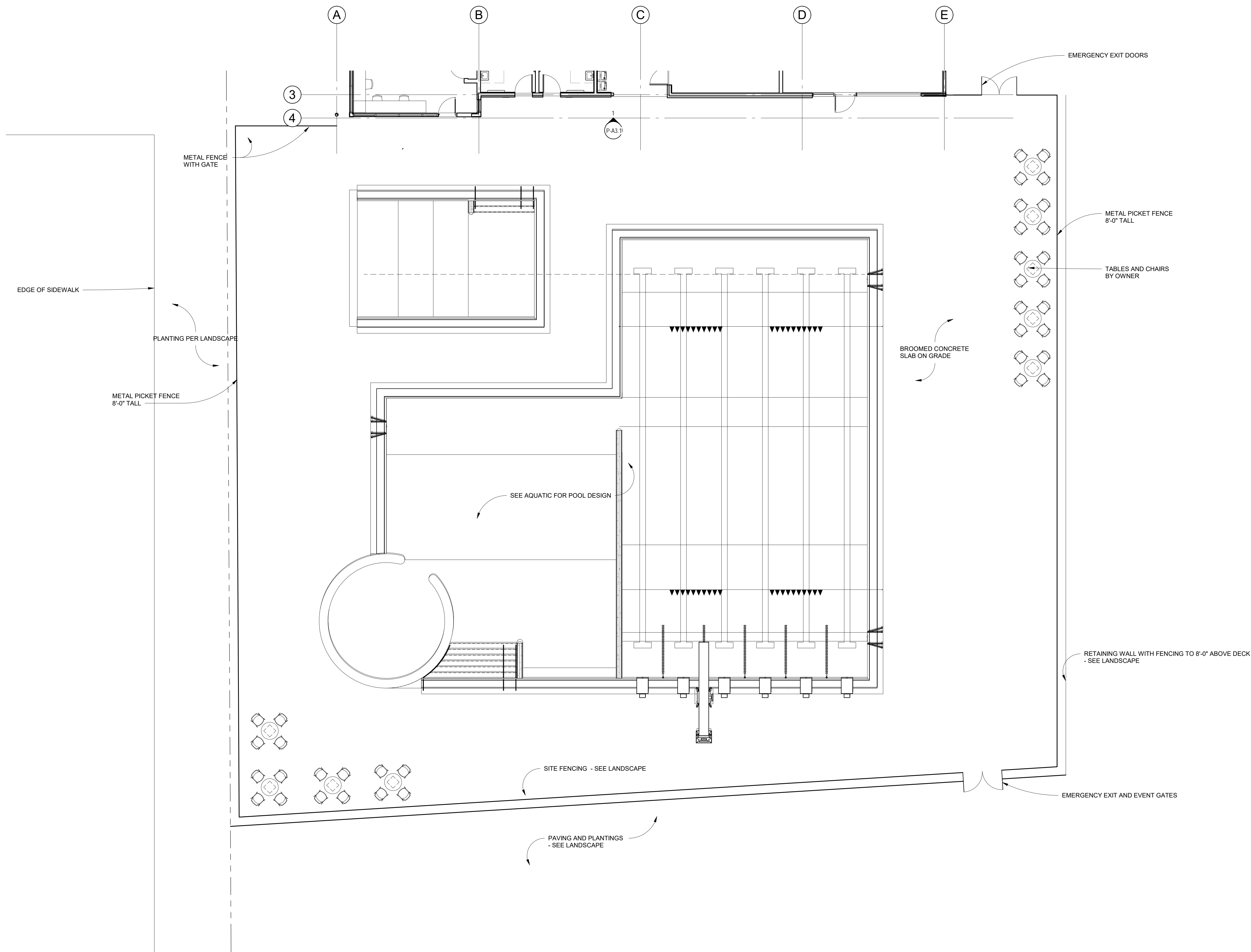
CONTENTS:  
**FLOOR PLAN**

SCALE: 1/4" = 1'-0"  
DRAWN: MP  
CHECKED: EGW  
PROJECT NO: 2018008.00

SHEET:  
**P-A2.1**



1 BATH HOUSE FLOOR PLAN - Site Permit  
1/4" = 1'-0"



1 POOL AND DECK PLAN - Site Permit  
1/8" = 1'-0"

FIRCREST COMMUNITY  
CENTER AND POOL  
555 CONTRA COSTA AVENUE FIRCREST, WA 98466



SITE  
MASTERPLAN  
SUBMITTAL

ISSUE DATE: FEBRUARY 7, 2019

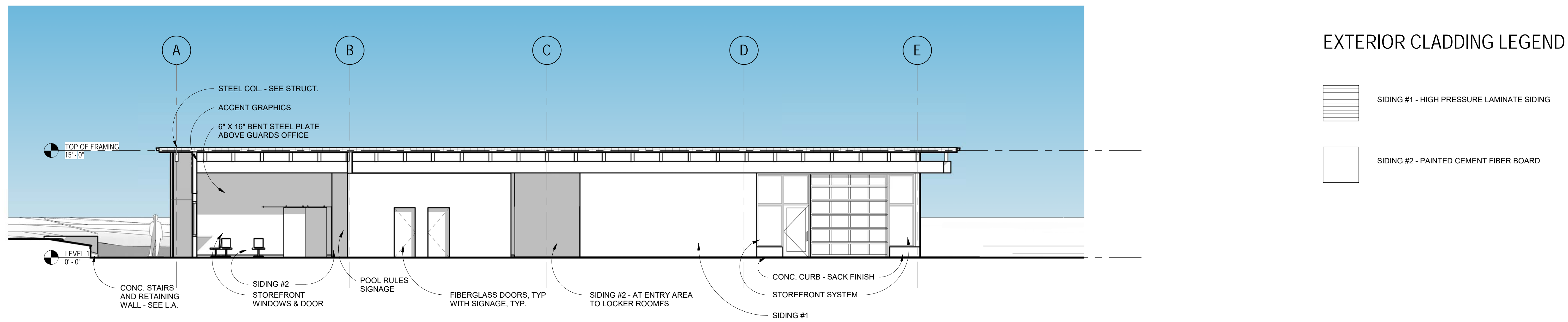
REVISION SCHEDULE - NO PERMIT CLOUDS SHOWN IN BID SET		
Rev #	Date	Description

CONTENTS:  
POOL AND DECK  
PLAN

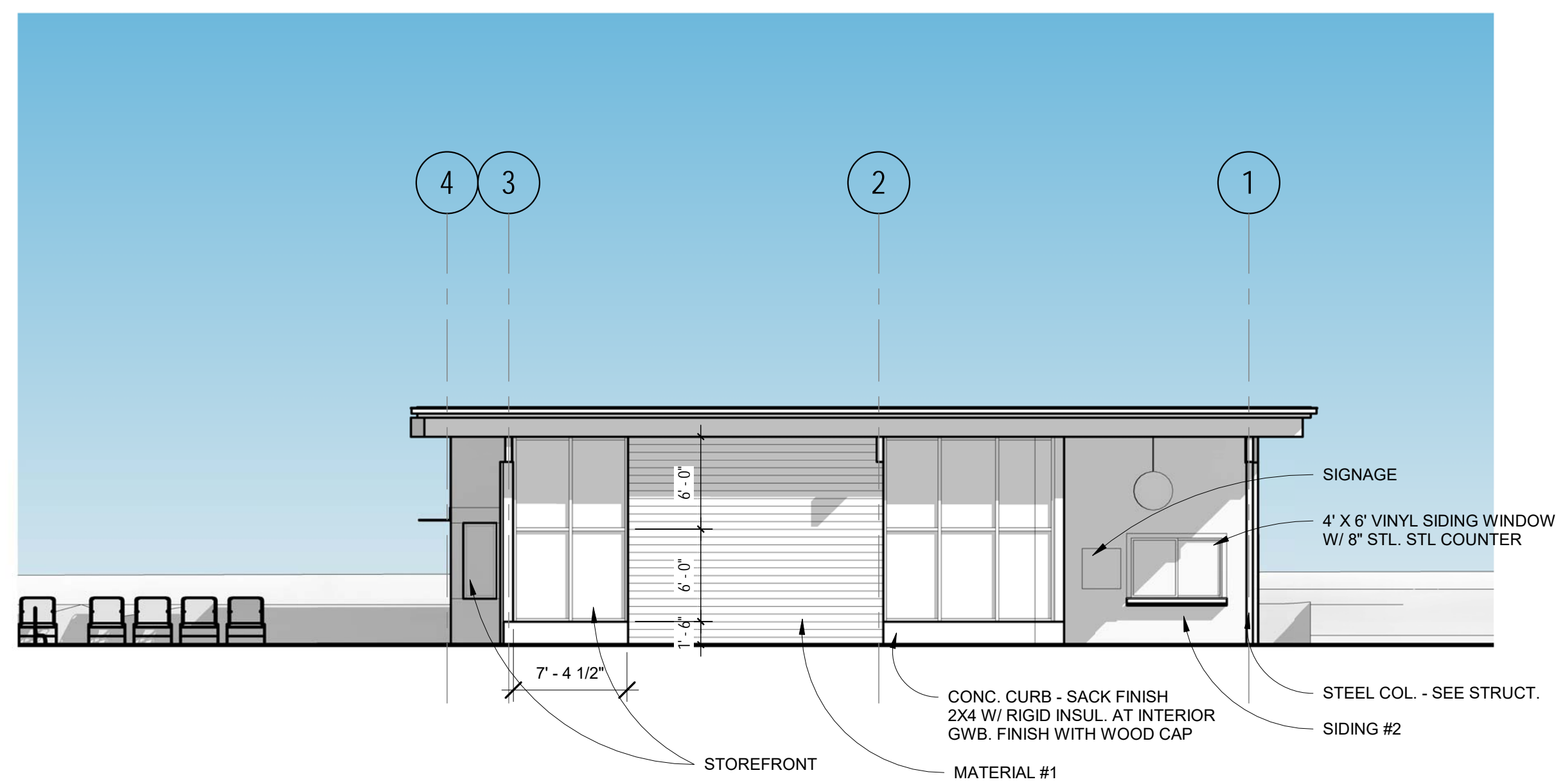
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CHECKED: EGW  
PROJECT NO: 2018008.00

SHEET:  
P-A2.2

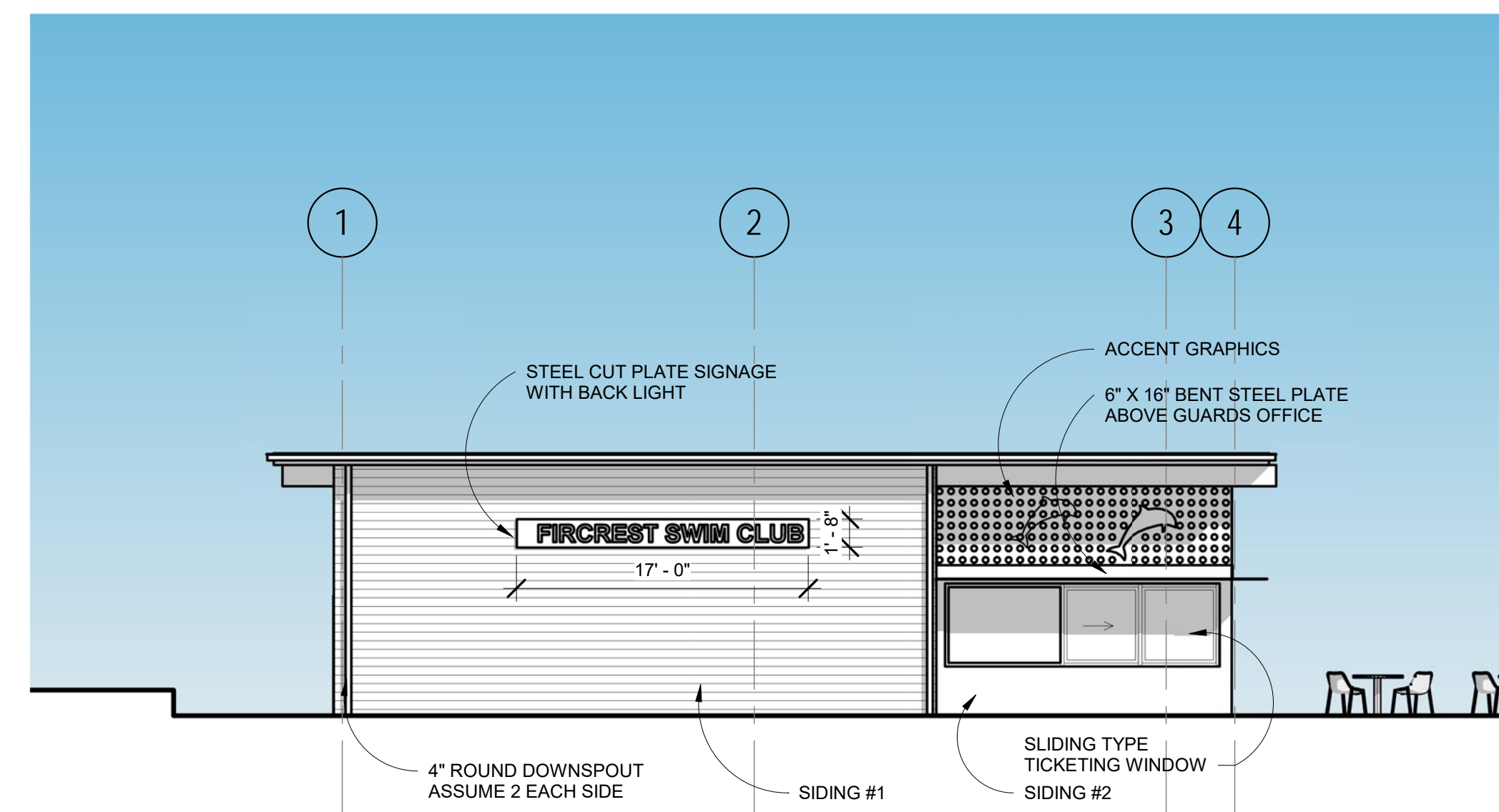




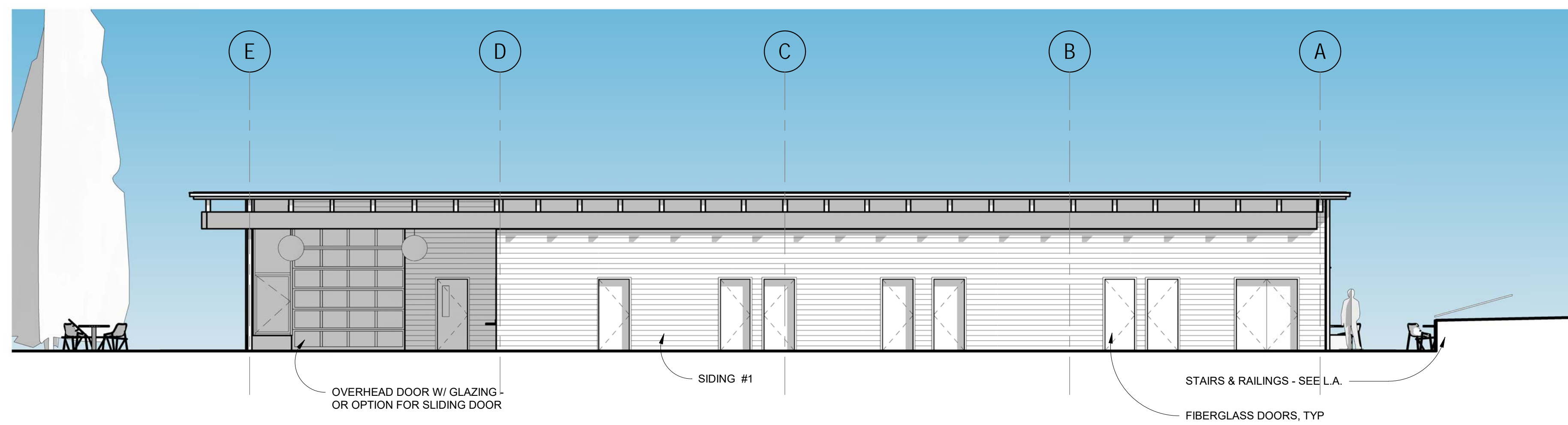
1 BATH HOUSE SOUTH ELEVATION - Site Permit  
1/8" = 1'-0"



2 BATH HOUSE EAST ELEVATION - Site Permit  
1/8" = 1'-0"



3 BATH HOUSE WEST ELEVATION - Site Permit  
1/8" = 1'-0"



4 BATH HOUSE NORTH ELEVATION - Site Permit  
1/8" = 1'-0"





① BATHHOUSE TICKETING FROM CONTRA COSTA  
12" = 1'-0"



② BATHHOUSE AND POOL AERIAL  
12" = 1'-0"



③ BATHHOUSE FROM PARK  
12" = 1'-0"



FIRCREST COMMUNITY  
CENTER AND POOL

555 CONTRA COSTA AVENUE FIRCREST, WA 98466



SITE  
MASTERPLAN  
SUBMITTAL

ISSUE DATE: FEBRUARY 7, 2019

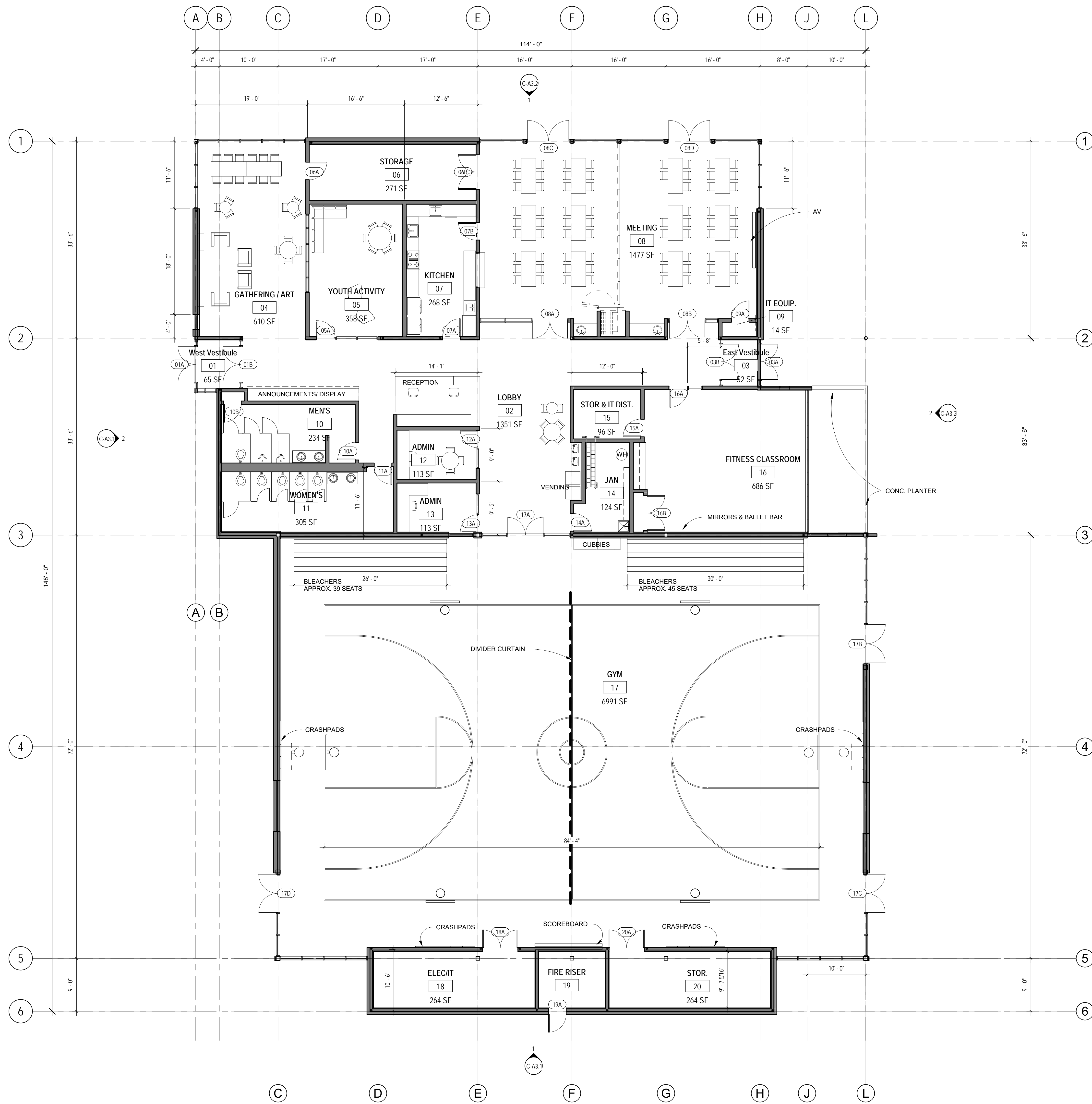
REVISION SCHEDULE - NO PERMIT CLOUDS SHOWN IN BID SET		
Rev #	Date	Description

CONTENTS:  
CC FLOOR PLAN

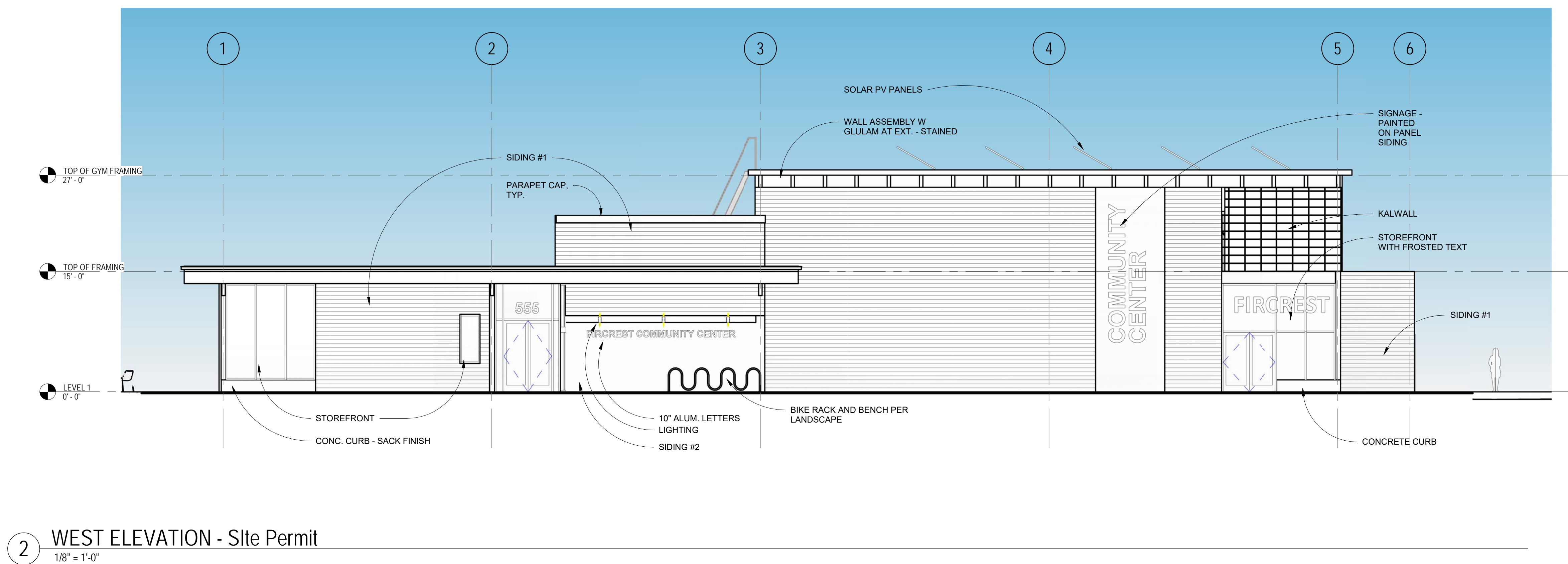
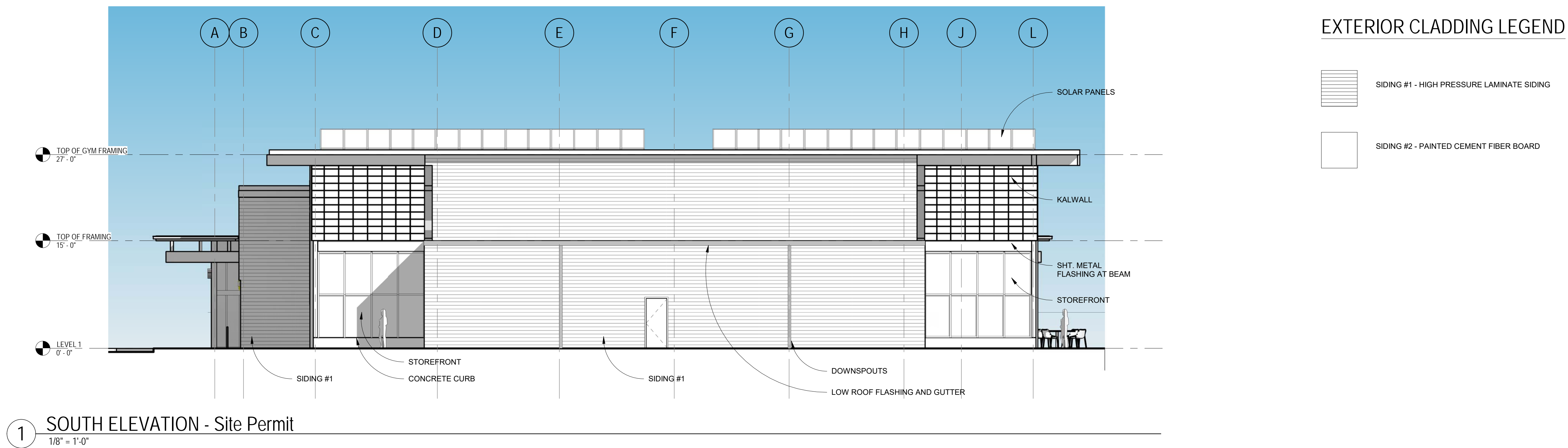
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DRAWN: MP  
CHECKED: EGW  
PROJECT NO: 2018008.00

SHEET:

C-A2.1



1 COMMUNITY CENTER FLOOR PLAN - Site Permit  
1/8" = 1'-0"



FIRCREST COMMUNITY  
CENTER AND POOL  
555 CONTRA COSTA AVENUE FIRCREST, WA 98466



SITE  
MASTERPLAN  
SUBMITTAL

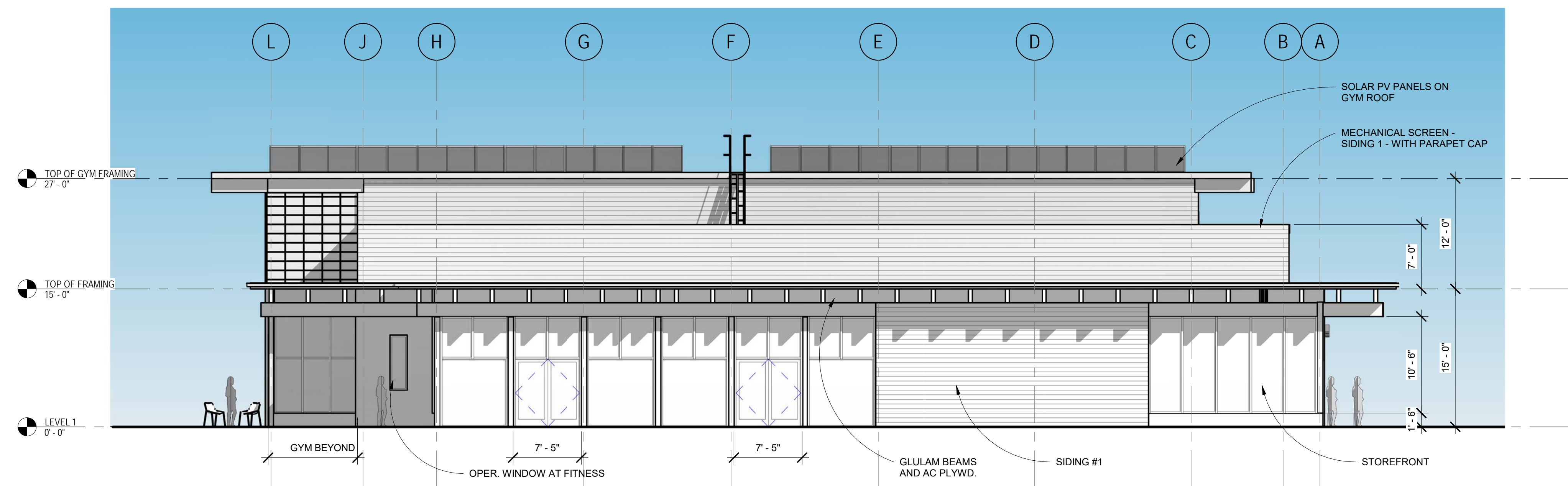
ISSUE DATE: FEBRUARY 7, 2019

REVISION SCHEDULE - NO PERMIT CLOUDS SHOWN IN BID SET		
Rev #	Date	Description

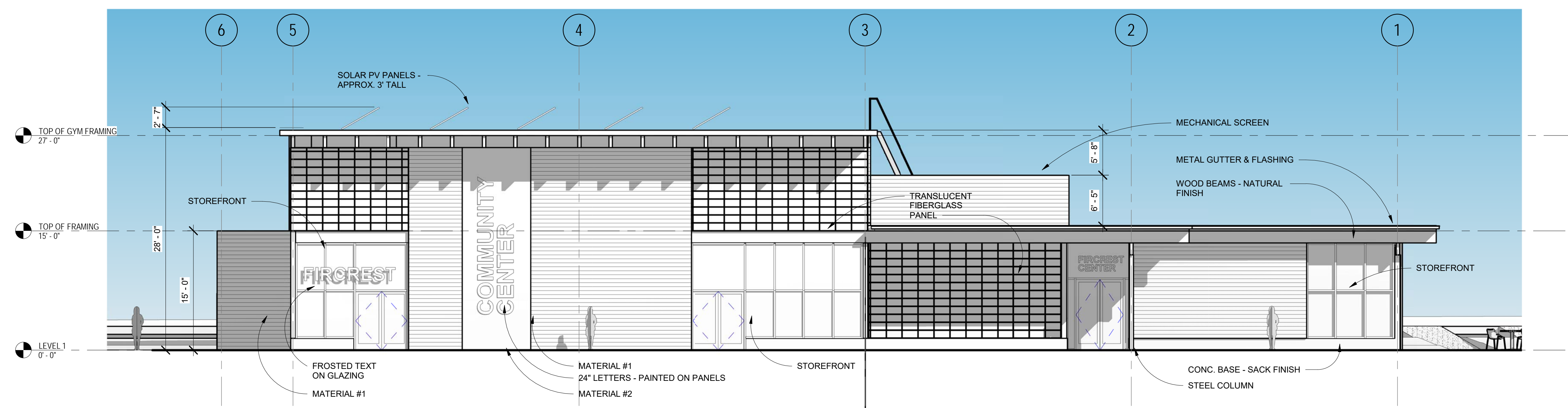
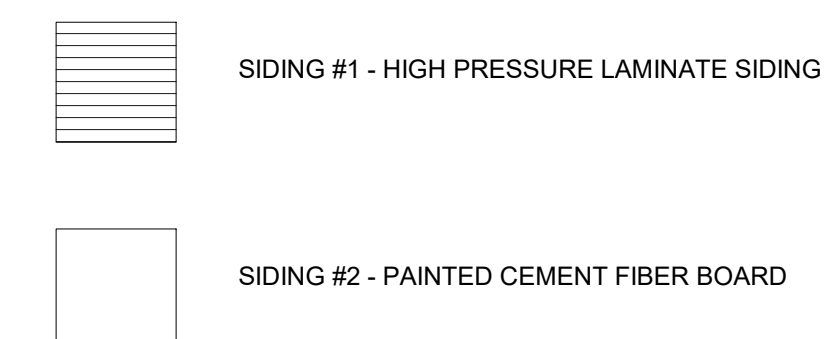
CONTENTS:  
CC EXTERIOR  
ELEVATIONS

SCALE: 1/8" = 1'-0"  
DRAWN: MP  
CHECKED: EGW  
PROJECT NO: 2018008.00

SHEET:  
C-A3.1



#### EXTERIOR CLADDING LEGEND



# FIRCREST COMMUNITY CENTER AND POOL

555 CONTRA COSTA AVENUE FIRCREST, WA 98466



## SITE MASTERPLAN SUBMITTAL

ISSUE DATE: FEBRUARY 7, 2019

REVISION SCHEDULE - NO PERMIT CLOUDS SHOWN IN BID SET		
Rev #	Date	Description

#### CONTENTS:

### CC EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"  
DRAWN: MP  
CHECKED: EGW  
PROJECT NO: 2018008.00

SHEET:  
**C-A3.2**





1 COMMUNITY CENTER WEST ENTRY  
12" = 1'-0"



2 COMMUNITY CENTER EAST ENTRY  
12" = 1'-0"



## **SEPA ENVIRONMENTAL CHECKLIST**

### ***Purpose of checklist:***

Governmental agencies use this checklist to help determine whether the environmental impacts of your proposal are significant. This information is also helpful to determine if available avoidance, minimization or compensatory mitigation measures will address the probable significant impacts or if an environmental impact statement will be prepared to further analyze the proposal.

### ***Instructions for applicants***

This environmental checklist asks you to describe some basic information about your proposal. Please answer each question accurately and carefully, to the best of your knowledge. You may need to consult with an agency specialist or private consultant for some questions. You may use "not applicable" or "does not apply" only when you can explain why it does not apply and not when the answer is unknown. You may also attach or incorporate by reference additional studies reports. Complete and accurate answers to these questions often avoid delays with the SEPA process as well as later in the decision-making process.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

### ***Instructions for Lead Agencies:***

Please adjust the format of this template as needed. Additional information may be necessary to evaluate the existing environment, all interrelated aspects of the proposal and an analysis of adverse impacts. The checklist is considered the first but not necessarily the only source of information needed to make an adequate threshold determination. Once a threshold determination is made, the lead agency is responsible for the completeness and accuracy of the checklist and other supporting documents.

### ***Use of checklist for nonproject proposals:*** [\[help\]](#)

For nonproject proposals (such as ordinances, regulations, plans and programs), complete the applicable parts of sections A and B plus the [SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS \(part D\)](#). Please completely answer all questions that apply and note that the words "project," "applicant," and "property or site" should be read as "proposal," "proponent," and "affected geographic area," respectively. The lead agency may exclude (for non-projects) questions in Part B - Environmental Elements –that do not contribute meaningfully to the analysis of the proposal.

## **A. Background** [\[help\]](#)

1. Name of proposed project, if applicable

**Fircrest Pool, Community Center, and right-of-way parking improvements**

2. Name of applicant:

**City of Fircrest, Parks & Recreation Department**

3. Address and phone number of applicant and contact person:

**Jeff Grover, Director Parks & Recreation**  
**(253) 238-4160**  
**jgrover@cityoffire.net**

4. Date checklist prepared: [\[help\]](#)

**February 6, 2019**

5. Agency requesting checklist: [\[help\]](#)

**City of Firecrest**

6. Proposed timing or schedule (including phasing, if applicable): [\[help\]](#)

**Construction for the Pool and Bathhouse is planned for August 2019 – June 2020, and 2021 – 2022 for the Community Center, and potentially 2022-2023 for the diagonal parking improvements within the public right-of-way.**

7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain. [\[help\]](#)

**There are no current plans for future additions or expansions related to or connected to the project.**

8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal. [\[help\]](#)

**Geotechnical Engineering Services Report by GeoEngineers dated March 18, 2016**

**Phase I Environmental Site Assessment – Draft January 3, 2019**

**Limited Hazardous Building Materials Survey – dated January 22, 2019**

9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. [\[help\]](#)

**No other applications are pending for government approvals.**

10. List any government approvals or permits that will be needed for your proposal, if known. [\[help\]](#)

**City of Firecrest Site Development Permit**

**City of Firecrest Clearing & Grading Permit**

**Building Permit and typical trade permits**

**Department of Health permit for the Pool and the Community Center Kitchen.**

**Department of Ecology Construction Stormwater General Permit**

11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description.) [\[help\]](#)

**The project provides a new bathhouse, outdoor pool, community center, and right-of-way parking improvements for the City of Firecrest. The project replaces the existing facilities. The project will be constructed in 3 phases with the pool and bathhouse construction in 2019 – 2020, the community**

center in 2021-2022, and the right-of-way parking improvements potentially in 2022-2023. The City of Fircrest will own and manage the facility.

The bathhouse is 4,500 sf and provides the ticketing and guards office, pump room, locker rooms, a large meeting room and support spaces. The pool will replace the existing outdoor and wading pools.

The community center will be 14,500 sf on one floor. The building includes a gymnasium, social hall, lounge/ library/ craft room, teen center, a commercial kitchen, and an exercise room. The facility will provide additional education, fitness, wellness, and community connection opportunities.

The new Phase 1 and Phase 2 parking lots will provide 15 new parking spaces, 3 loading zone spaces and 2 ADA parking spaces for a total of 18 off-street spaces. There will also be 2 new ADA parking spaces closer to the Swim Club / Bathhouse entry. The Owner is planning for a Phase 3 construction for diagonal parking along Contra Costa and Electron Way.

12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist. [\[help\]](#)

The project is located at 555 Contra Costa Avenue in Fircrest, WA. This is at the northeast corner of the intersection of Contra Costa Avenue and Electron Way. The site is located in a portion of the northwest ¼ of the southeast ¼ of Section 11, Township 20 North, Range 02 East of the Willamette Meridian. The total project area is approximately 2.9 acres (2.3 acres on the project parcel and 0.6 acres in the public right-of-way). The full property is 7.59 acres.

## B. ENVIRONMENTAL ELEMENTS [\[help\]](#)

### 1. Earth [\[help\]](#)

#### a. General description of the site: [\[help\]](#)

(circle one) Flat, rolling, hilly, steep slopes, mountainous, other \_\_\_\_\_

#### b. What is the steepest slope on the site (approximate percent slope)? [\[help\]](#)

Approximately 25 percent slope

#### c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any agricultural land of long-term commercial significance and whether the proposal results in removing any of these soils. [\[help\]](#)

Based on the Geotechnical Engineering Services Report, on-site soils appear to be glacial deposits, consisting of silt, sand, and gravel. The soil group classifications are ML, OL, SM, and GP-GM.

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe. [\[help\]](#)

**No. There are no indication that soils in the immediate vicinity of the project are unstable.**

e. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. Indicate source of fill. [\[help\]](#)

**The purpose of earthwork is to construct new building structures and site and utility improvements. The construction effort would include excavation of up to 3000 cubic yards (cy) of material from the site and import of up to 4000 cy of suitable fill to the site. The total area affected by earthwork operations is approximately 2.9 acres. The source of fill material will be determined by the contractor.**

f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe. [\[help\]](#)

**Yes, erosion is possible during construction. The proposed plan includes an temporary erosion and sedimentation control plan and a Construction Storm Water Pollution Prevention Plan (CSWPPP) outlining the best management practices (BMP's) that will be used to minimize erosion and sedimentation during construction.**

g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)? [\[help\]](#)

**The total property is 7.59 acres. After project construction the pervious area will be 5.57 acres (73.4%) and the impervious will be 2.02 acres (26.6%) of the property.**

h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any: [\[help\]](#)

**A CSWPPP and Temporary Erosion and Sedimentation Control Plan are part of the contract documents. The plan includes BMPs to prevent, reduce, and control erosion and sedimentation. These BMPs include, but are not limited to, catch basin filters, silt fence, dust control (spraying water on disturbed soils), and a stabilized construction entrance. Additionally, construction timing and phased timing of actions will minimize the transport of sediment from the construction site.**

## **2. Air** [\[help\]](#)

a. What types of emissions to the air would result from the proposal during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known. [\[help\]](#)

**It is anticipated that there might be a temporary increase in air emissions from construction machinery emissions, dust, will increase during active construction. Upon completion, emissions will return to pre-project conditions.**

b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe. [\[help\]](#)

**There are no known emissions/odors that will affect this project.**

c. Proposed measures to reduce or control emissions or other impacts to air, if any: [\[help\]](#)

**Standard emission control devices, in conformance with federal and state air quality standards for the specific class and type of equipment, will be utilized during project activities. In addition, standard BMPs will be utilized as needed for dust control (e.g. spraying).**

## **3. Water** [\[help\]](#)

a. Surface Water:

- 1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into. [\[help\]](#)

**No. There are no surface water bodies within the immediate vicinity of the project site.**

- 2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans. [\[help\]](#)

**This is not applicable because there are no surface water bodies within the immediate vicinity of the project site.**

- 3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material. [\[help\]](#)

**There will be no fill or dredge material placed in or removed from the project site. There are no surface waters or wetlands in the immediate vicinity of the project site**

- 4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known. [\[help\]](#)

**No surface water withdrawals or diversions will be required.**

- 5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan. [\[help\]](#)

**No, the project site is not located within the 100-year floodplain.**

- 6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge. [\[help\]](#)

**There will be no discharge of waste materials to surface waters.**

b. Ground Water:

- 1) Will groundwater be withdrawn from a well for drinking water or other purposes? If so, give a general description of the well, proposed uses and approximate quantities withdrawn from the well. Will water be discharged to groundwater? Give general description, purpose, and approximate quantities if known. [\[help\]](#)

**Groundwater will not be withdrawn. Water will not be discharged into the groundwater system.**

- 2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals. . . ; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve. [\[help\]](#)

**No waste material will be discharged into the ground.**

c. Water runoff (including stormwater):

- 1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe. [\[help\]](#)

**The source of stormwater runoff includes building roofs, paved surfaces, and landscaped areas. Stormwater generated from these areas will be collected by catch basins and conveyed to the City of Fircrest storm drainage network located in Electron Way. Stormwater will ultimately be discharged into the Puget Sound.**

2) Could waste materials enter ground or surface waters? If so, generally describe. [\[help\]](#)  
**Waste materials such as trash, debris, or other pollutants on the surface could come into contact with surface runoff. Waste materials will be controlled through BMPs to contain materials that may have the potential to leave the project site.**

3) Does the proposal alter or otherwise affect drainage patterns in the vicinity of the site? If so, describe. [\[help\]](#)  
**The project will not alter or affect drainage patterns. The project will continue to release stormwater at the natural drainage point on the site. The proposed improvements will maintain the existing hydrology.**

d. Proposed measures to reduce or control surface, ground, and runoff water, and drainage pattern impacts, if any: [\[help\]](#)

**Impervious surfaces will be minimized as a way to reduce the quantity and peak flowrates of stormwater. Stormwater from pollution generating surfaces, such as the parking lot, will be treated prior to discharging off the project site. The City of Fircrest will also implement good house keeping measures that will prevent pollutants from entering the storm drainage network.**

#### 4. Plants [\[help\]](#)

a. Check the types of vegetation found on the site: [\[help\]](#)

- X ☒ deciduous tree: alder, maple, aspen, other:
- X ☒ evergreen tree: fir, cedar, pine, other
- X ☒ shrubs
- X ☒ grass
- ☐ pasture
- ☐ crop or grain
- ☐ Orchards, vineyards or other permanent crops.
- ☐ wet soil plants: cattail, buttercup, bullrush, skunk cabbage, other: soft rush
- ☐ water plants: water lily, eelgrass, milfoil, other
- ☐ other types of vegetation

b. What kind and amount of vegetation will be removed or altered? [\[help\]](#)

**Existing sod at an area of approximately 47,500 sq. ft. will be removed. Three (3) existing mature evergreen conifer trees and several ornamental shrubs and small ornamental deciduous trees to be removed.**

c. List threatened and endangered species known to be on or near the site. [\[help\]](#)

**There are no known threatened or endangered plant species known to be on or near the project site.**

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any: [\[help\]](#)



1. New plantings will consist of both native and adapted ornamental trees and shrubs, and turf grass.
2. Street front will be planted in accordance with governing codes.
3. Proposed plant selection compliments existing species on site and within the city.

e. List all noxious weeds and invasive species known to be on or near the site. [\[help\]](#)

There are no known noxious weeds and invasive species on or near the site.

## 5. Animals [\[help\]](#)

a. List any birds and other animals which have been observed on or near the site or are known to be on or near the site. [\[help\]](#)

Examples include:

birds: ~~hawk, heron, eagle,~~ songbirds, other: ducks (flyway)  
 mammals: ~~deer, bear, elk, beaver,~~ other: raccoon, squirrel  
 fish: ~~bass, salmon, trout, herring, shellfish,~~ other \_\_\_\_\_ none

b. List any threatened and endangered species known to be on or near the site. [\[help\]](#)

There are no known threatened or endangered animal species located near the site.

c. Is the site part of a migration route? If so, explain. [\[help\]](#)

The state of Washington is located in the Pacific flyway zone, a major waterfowl route. No other migration routes are known.

d. Proposed measures to preserve or enhance wildlife, if any: [\[help\]](#)

There should be no impacts to wildlife as a result of the project and therefore no measures are proposed.

e. List any invasive animal species known to be on or near the site. [\[help\]](#)

There are no known invasive animal species known to be on or near the project site.

## 6. Energy and Natural Resources [\[help\]](#)

a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc. [\[help\]](#)

The completed project will use electricity and natural gas.

b. Would your project affect the potential use of solar energy by adjacent properties?

If so, generally describe. [\[help\]](#)

No, the project will not affect the use of solar energy on adjacent properties.

c. What kinds of energy conservation features are included in the plans of this proposal?

List other proposed measures to reduce or control energy impacts, if any: [\[help\]](#)

The project is planning to meet current Washington State Energy Code 2015 requirements. Sunshades, building orientation, roof overhangs, and landscaping are designed to help control solar heat gain in the summer and encourage solar heating in the winter. High efficiency equipment will

be specified for the mechanical systems and low flow fixtures for the restrooms and showers will reduce water and energy use. The community center is planned to have a 20KW solar PV system on the roof of the gymnasium.

**7. Environmental Health** [\[help\]](#)

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe. [\[help\]](#)

**No, there are no known health hazards that could occur because of this proposal.**

- 1) Describe any known or possible contamination at the site from present or past uses.

[\[help\]](#)

**The site is located within the arsenic plume region from the Tacoma smelter. Per the map from Department of Ecology, the predicted arsenic concentration at the site is 20 ppm to 40 ppm. The Soil Safety Program studies completed in 2003 indicates that the arsenic and lead concentrations were below Ecology's MTCA method A Cleanup levels at the property.**

- 2) Describe existing hazardous chemicals/conditions that might affect project development and design. This includes underground hazardous liquid and gas transmission pipelines located within the project area and in the vicinity. [\[help\]](#)

**There are no known existing hazardous conditions that might affect the project development or design.**

- 3) Describe any toxic or hazardous chemicals that might be stored, used, or produced during the project's development or construction, or at any time during the operating life of the project. [\[help\]](#)

**During construction, standard construction materials, cleaning agents, and adhesives will be used on-site. Low VOC products will be used at all interior spaces. Once the building is open, there will be liquid chlorine deliveries for the pool, which will be delivered and store by professionals trained for dealing with these chemicals.**

- 4) Describe special emergency services that might be required. [\[help\]](#)

**Construction activities typically involve some risk. Emergency medical services could be required in the event of a construction accident. Once the facility is open, the standard medical and fire emergency response will be required.**

- 5) Proposed measures to reduce or control environmental health hazards, if any: [\[help\]](#)

**There are no known health hazards that will result from this project other than the use of fuels for equipment and construction vehicles. BMPs will be used as needed and will be developed in accordance with the City of Fircrest and Ecology's regulations/guidelines.**

**b. Noise** [\[help\]](#)

- 1) What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)? [\[help\]](#)

**The project area is exposed to noise from residential development, Park Activities, and the roadway, but the noise level will not affect the proposed project.**

2) What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site. [\[help\]](#)

**Temporary noise typical of construction activities is expected during construction. After construction, noise levels will return to levels similar to existing uses.**

3) Proposed measures to reduce or control noise impacts, if any: [\[help\]](#)

**Noise standards generally exempt construction noise impacts between the hours of 7:00 a.m. and 7:00 p.m. Short term impacts due to construction are expected. Nighttime construction is not anticipated for this project. The windows will be double paned insulated units, and many will also have laminated glazing including at the gymnasium which will help greatly to reduce the noise leaving the site.**

#### **8. Land and Shoreline Use** [\[help\]](#)

a. What is the current use of the site and adjacent properties? Will the proposal affect current land uses on nearby or adjacent properties? If so, describe. [\[help\]](#)

**The site currently is used for an outdoor pool and community center. This project replaces the existing facilities in approximately the same location. The bathhouse will be located to the north of the pool (instead of the current southern location). The properties across the street are residential. The project will not affect current land uses on nearby or adjacent properties.**

b. Has the project site been used as working farmlands or working forest lands? If so, describe. How much agricultural or forest land of long-term commercial significance will be converted to other uses as a result of the proposal, if any? If resource lands have not been designated, how many acres in farmland or forest land tax status will be converted to nonfarm or nonforest use? [\[help\]](#)

**The project site has not been used as working farmlands or working forest lands. Land will not be converted to non-farm or non-forest uses.**

1) Will the proposal affect or be affected by surrounding working farm or forest land normal business operations, such as oversize equipment access, the application of pesticides, tilling, and harvesting? If so, how: [\[help\]](#)

**The proposal will not affect or be affected by surrounding working farms or forested lands.**

c. Describe any structures on the site. [\[help\]](#)

**The existing structures are the existing community center and outdoor pool and existing parking lot and basketball courts.**

d. Will any structures be demolished? If so, what? [\[help\]](#)

**The existing structures will be demolished in 2 phases. The pool and pump house/ locker rooms in Phase 1 and the community center in Phase 2.**

e. What is the current zoning classification of the site? [\[help\]](#)

**Parks, Recreation, and Open Space**

f. What is the current comprehensive plan designation of the site? [\[help\]](#)

**Parks, Recreation, and Open Space**

g. If applicable, what is the current shoreline master program designation of the site? [\[help\]](#)

**Not applicable**

h. Has any part of the site been classified as a critical area by the city or county? If so, specify.  
[\[help\]](#)

**No.**

i. Approximately how many people would reside or work in the completed project? [\[help\]](#)

**At the pool and bathhouse, there will be approximately 8 - 12 people working. At the Community Center, there will be 4-5 people working. There will be no one residing in the completed project.**

j. Approximately how many people would the completed project displace? [\[help\]](#)

**None**

k. Proposed measures to avoid or reduce displacement impacts, if any: [\[help\]](#)

**Not applicable**

l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any: [\[help\]](#)

**The project will not change the existing land use designation or adjacent areas. Therefore, there are no measures proposed.**

m. Proposed measures to reduce or control impacts to agricultural and forest lands of long-term commercial significance, if any: [\[help\]](#)

**The project will not affect agricultural or forested lands and therefore there are no measures proposed.**

## **9. Housing** [\[help\]](#)

a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing. [\[help\]](#)

**The project will not provide housing.**

b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing. [\[help\]](#)

**The project will not eliminate housing.**

c. Proposed measures to reduce or control housing impacts, if any: [\[help\]](#)

**The project will not affect housing. No measures are needed.**

## **10. Aesthetics** [\[help\]](#)

a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed? [\[help\]](#)

The tallest height of any proposed structure is 30 feet. The solar panels will be up to approximately 34 feet. Primary material for building will be fiber cement siding and wood siding, with the intent to fit into the landscape and wooded site.

b. What views in the immediate vicinity would be altered or obstructed? [\[help\]](#)

The buildings are proposed to be similar location and height as the existing community center. The new bathhouse is further north than current location and will alter the view of the park for residents across the street.

b. Proposed measures to reduce or control aesthetic impacts, if any: [\[help\]](#)

The buildings are designed to fit into the landscape with flat roofs and overhangs. The siding materials are planned to be wood or darker paint colors to blend in with nature. Landscape elements, such as tall columnar coniferous trees, will be used to visually screen wall portions of the building. Planting of additional trees will enhance the park-like environment. Ornamental fencing will be used around the pool facility.

## 11. Light and Glare [\[help\]](#)

a. What type of light or glare will the proposal produce? What time of day would it mainly occur? [\[help\]](#)

Exterior lighting will be located on the building to light the exterior plazas for safety in the evenings, especially in the long dark winters. The parking lot and drives will have additional light poles as required for safety. All lights will point downward away from critical areas, and will either be under roof overhangs or have the proper shrouds to prevent night time glare.

b. Could light or glare from the finished project be a safety hazard or interfere with views? [\[help\]](#)

No there will not be any Safety hazards related to light or glare.

c. What existing off-site sources of light or glare may affect your proposal? [\[help\]](#)

There are no offsite sources of light or glare that may affect the project.

d. Proposed measures to reduce or control light and glare impacts, if any: [\[help\]](#)

All lights will point downward away from critical areas, and will either be under roof overhangs or have the proper shrouds to prevent night time glare.

## 12. Recreation [\[help\]](#)

a. What designated and informal recreational opportunities are in the immediate vicinity? [\[help\]](#)

The project provides the recreation opportunities and is located adjacent to the existing sports fields and playground.

b. Would the proposed project displace any existing recreational uses? If so, describe. [\[help\]](#)

The proposed project replaces and expands the existing recreation uses. The project does remove the existing outdoor basketball court. The owner is looking to build a new outdoor basketball court in another location.

c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any: [\[help\]](#)

The new facility provides new recreation opportunities for the community.

### 13. Historic and cultural preservation [\[help\]](#)

- a. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers ? If so, specifically describe. [\[help\]](#)

**Yes, Fircrest park and the existing community center are more than 45 years old and the site is within the master planned community of Fircrest. Both the park and community center have been substantially altered and are not on national, state, or local preservation registers. There is a 2009 inventory form in WISAARD for the park, property ID 103785.**

**There are three single family residences across the street from the northwest corner of the park inventoried in 2009 at the reconnaissance level and recommended as potentially eligible for national register listing. There are no buildings abutting or near the site that are listed in or determined eligible for listing in national, state, or local preservation registers.**

- b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation? This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources. [\[help\]](#)

**There are no known landmarks, features or other evidence of Indian or historic use at the project site. The State Department of Archaeology and Historic Preservation predictive model identifies the area as moderately low risk with survey contingent upon project parameters.**

- c. Describe the methods used to assess the potential impacts to cultural and historic resources on or near the project site. Examples include consultation with tribes and the department of archeology and historic preservation, archaeological surveys, historic maps, GIS data, etc. [\[help\]](#)

**The Department of Archaeology and Historic Preservation WISAARD Mapping database was used to assess the project site and the property, register, cemetery, archaeology, traditional cultural places, cultural survey, and predictive model layers were reviewed.**

- d. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required. [\[help\]](#)  
**The project site is not adjacent to mapped historic properties and is not expected to have impacts; therefore, no measures are proposed.**

### 14. Transportation [\[help\]](#)

- a. Identify public streets and highways serving the site or affected geographic area and describe proposed access to the existing street system. Show on site plans, if any. [\[help\]](#)

**The site is accessed from Contra Costa Road and Electron Way. There are two existing curb cuts on Electron Way – the project proposes to fill these in and build one new access. There are two curb cuts on Contra Costa Avenue and the project proposed to fill in one of these.**



b. Is the site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop? [\[help\]](#)

**Yes the site is served by public transit.**

c. How many additional parking spaces would the completed project or non-project proposal have? How many would the project or proposal eliminate? [\[help\]](#)

**There are 21 existing spaces, 21 will be removed. The new parking lot planning provides 18 new spaces including 2 ADA spaces. There will be an additional 2 ADA spaces closer to the Swim Club/ Bathhouse entry.**

**There is ample street parallel parking around the perimeter of the park. The Owner/ City is planning for future project to change the parallel parking to diagonal parking for potential additional parking as shown on the Civil site plan.**

d. Will the proposal require any new or improvements to existing roads, streets, pedestrian, bicycle or state transportation facilities, not including driveways? If so, generally describe (indicate whether public or private). [\[help\]](#)

**No new improvements to existing roads, streets, or sidewalks required beyond what the project is providing. The City of Fircrest is considering making the intersection of Contra Costa and Electron Way a 4-way stop.**

e. Will the project or proposal use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe. [\[help\]](#)

**No, the project will not use water, rail or air transportation.**

f. How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as commercial and nonpassenger vehicles). What data or transportation models were used to make these estimates? [\[help\]](#)

**Currently the estimated vehicular trips per day (averaged over the year) is about 100 vehicles and it is anticipated this would double to average 200 vehicular trips / day with the new pool and center.**

**With peak volumes in the summer months for the pool.**

g. Will the proposal interfere with, affect or be affected by the movement of agricultural and forest products on roads or streets in the area? If so, generally describe. [\[help\]](#)

**The project will not interfere with, or be affected by, the movement of agricultural and forest products.**

h. Proposed measures to reduce or control transportation impacts, if any: [\[help\]](#)

**During construction, appropriate signage will be installed and a traffic control plan will be implemented.**

## **15. Public Services [\[help\]](#)**

a. Would the project result in an increased need for public services (for example: fire protection, police protection, public transit, health care, schools, other)? If so, generally describe. [\[help\]](#)

**Yes, likely the project will result in a small increase need for public services as the new pool and community center are larger than the current buildings.**

b. Proposed measures to reduce or control direct impacts on public services, if any. [\[help\]](#)

Potential effects to public services are expected to be minor; therefore, no measures are proposed.

16. Utilities [\[help\]](#)

- a. Circle utilities currently available at the site: [\[help\]](#)  
electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system,  
other \_\_\_\_\_

The site has all current utilities. Some will be reused and some will be capped and new connections made in the street.

- c. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed. [\[help\]](#)

Utility connections include sewer, domestic water and fire service, gas, power, and stormwater.

C. Signature [\[help\]](#)

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature: 

Name of signee EMILY WHEELER

Position and Agency/Organization ARC Architects, Principal

Date Submitted: 2-7-19

D. Supplemental sheet for nonproject actions [\[help\]](#)

(IT IS NOT NECESSARY to use this sheet for project actions)

Because these questions are very general, it may be helpful to read them in conjunction with the list of the elements of the environment.

When answering these questions, be aware of the extent the proposal, or the types of activities likely to result from the proposal, would affect the item at a greater intensity or at a faster rate than if the proposal were not implemented. Respond briefly and in general terms.

1. How would the proposal be likely to increase discharge to water; emissions to air; production, storage, or release of toxic or hazardous substances; or production of noise?

Proposed measures to avoid or reduce such increases are:

2. How would the proposal be likely to affect plants, animals, fish, or marine life?

Proposed measures to protect or conserve plants, animals, fish, or marine life are:

3. How would the proposal be likely to deplete energy or natural resources?

Proposed measures to protect or conserve energy and natural resources are:

4. How would the proposal be likely to use or affect environmentally sensitive areas or areas designated (or eligible or under study) for governmental protection; such as parks, wilderness, wild and scenic rivers, threatened or endangered species habitat, historic or cultural sites, wetlands, floodplains, or prime farmlands?

Proposed measures to protect such resources or to avoid or reduce impacts are:

5. How would the proposal be likely to affect land and shoreline use, including whether it would allow or encourage land or shoreline uses incompatible with existing plans?

Proposed measures to avoid or reduce shoreline and land use impacts are:

6. How would the proposal be likely to increase demands on transportation or public services and utilities?

Proposed measures to reduce or respond to such demand(s) are:

7. Identify, if possible, whether the proposal may conflict with local, state, or federal laws or requirements for the protection of the environment.



## THE CITY OF FIRCREST

115 RAMSDELL STREET • FIRCREST, WA 98466-6999 • (253) 564-8901 • [www.cityoffircrest.net](http://www.cityoffircrest.net)

### STATE ENVIRONMENTAL POLICY ACT

## DETERMINATION OF NON-SIGNIFICANCE

**Date of Issuance:** March 13, 2019

**Lead agency:** City of Fircrest

**Description of proposal:** Case #19-02; Preliminary site plan application for the phased construction of a new outdoor pool, 4,500 square foot bathhouse, a 15,000 square foot community center and related parking.

**Proponent:** City of Fircrest

**Location of proposal, including street address, if any:** 555 Contra Costa, Fircrest WA 98466, Parcel # 7160201251

The lead agency for this proposal has determined that it does not have a probable significant adverse impact on the environment. An environmental impact statement (EIS) is not required under RCW 43.21C.030 (2)(c). This decision was made after review of a completed environmental checklist and other information on file with the lead agency. This information is available to the public on request.

☐ There is no comment period required for this DNS.

☒ This DNS is issued under WAC 197-11-340(2); the lead agency will not act on this proposal for at least 15 days from the date of issuance, below. Written comments on the DNS must be submitted by 5:00 p.m. March 27, 2019.

**Responsible Official:** Angelie Stahlnecker

**Position/Title:** Planning and Building Administrator

**Phone:** (253) 238-4125

**E-Mail:** [astahnecker@cityoffircrest.net](mailto:astahnecker@cityoffircrest.net)

**Address:** 115 Ramsdell Street, Fircrest, WA 98466

**Signature:** Angelie Stahlnecker

**Date:** March 12, 2019

*Pursuant to RCW 43.21C.075 and City of Fircrest environmental regulations, decisions of the Responsible Official may be appealed. Appeals are filed with appropriate fees at the City of Fircrest City Hall, located at 115 Ramsdell Street. Appeals must be filed within 14 days of the March 13, 2019 issuance date (March 27, 2019).*



STATE OF WASHINGTON  
DEPARTMENT OF ECOLOGY

*PO Box 47775 • Olympia, Washington 98504-7775 • (360) 407-6300  
711 for Washington Relay Service • Persons with a speech disability can call 877-833-6341*

March 27, 2019

Angelie Stahlnecker, Planning and Building Administrator  
City of Fircrest  
115 Ramsdell Street  
Fircrest, WA 98466

Dear Angelie Stahlnecker:

Thank you for the opportunity to comment on the determination of nonsignificance for the City of Fircrest Pool and Community Center Project (19-02). The Department of Ecology (Ecology) reviewed the environmental checklist and has the following comment(s):

**HAZARDOUS WASTE & TOXICS REDUCTION: Tara Davis (360) 407-6275**

The applicant proposes to demolish an existing structure(s). In addition to any required asbestos abatement procedures, the applicant should ensure that any other potentially dangerous or hazardous materials present, such as PCB-containing lamp ballasts, fluorescent lamps, and wall thermostats containing mercury, are removed prior to demolition. Also, be aware that PCBs are increasingly being found in caulking and paint. It is important that these materials and wastes are removed and appropriately managed prior to demolition. It is equally important that demolition debris is also safely managed, especially if it contains painted wood or concrete, treated wood, or other possibly dangerous materials.

Please review the "Dangerous Waste Rules for Demolition, Construction, and Renovation Wastes," on Ecology's website at: <https://ecology.wa.gov/Regulations-Permits/Guidance-technical-assistance/Dangerous-waste-guidance/Common-dangerous-waste/Construction-and-demolition>. The applicant may also contact Robert Rieck with Ecology's Hazardous Waste and Toxics Reduction program (HWTR) at (360) 407-6751 for more information about safely handling dangerous wastes and demolition debris

**SOLID WASTE MANAGEMENT: Derek Rockett (360) 407-6287**

All grading and filling of land must utilize only clean fill. All other materials may be considered solid waste and permit approval may be required from your local jurisdictional health department prior to filling. All removed debris resulting from this project must be disposed of at an approved site. Contact the local jurisdictional health department for proper management of these materials.



**WATER QUALITY/WATERSHED RESOURCES UNIT:  
Chris Montague-Breakwell (360) 407-6364**

Erosion control measures must be in place prior to any clearing, grading, or construction. These control measures must be effective to prevent stormwater runoff from carrying soil and other pollutants into surface water or stormdrains that lead to waters of the state. Sand, silt, clay particles, and soil will damage aquatic habitat and are considered to be pollutants.

Any discharge of sediment-laden runoff or other pollutants to waters of the state is in violation of Chapter 90.48 RCW, Water Pollution Control, and WAC 173-201A, Water Quality Standards for Surface Waters of the State of Washington, and is subject to enforcement action.

Construction Stormwater General Permit:

The following construction activities require coverage under the Construction Stormwater General Permit:

1. Clearing, grading and/or excavation that results in the disturbance of one or more acres **and** discharges stormwater to surface waters of the State; and
2. Clearing, grading and/or excavation on sites smaller than one acre that are part of a larger common plan of development or sale, if the common plan of development or sale will ultimately disturb one acre or more **and** discharge stormwater to surface waters of the State.
  - a) This includes forest practices (including, but not limited to, class IV conversions) that are part of a construction activity that will result in the disturbance of one or more acres, **and** discharge to surface waters of the State; and
3. Any size construction activity discharging stormwater to waters of the State that Ecology:
  - a) Determines to be a significant contributor of pollutants to waters of the State of Washington.
  - b) Reasonably expects to cause a violation of any water quality standard.

If there are known soil/ground water contaminants present on-site, additional information (including, but not limited to: temporary erosion and sediment control plans; stormwater pollution prevention plan; list of known contaminants with concentrations and depths found; a site map depicting the sample location(s); and additional studies/reports regarding contaminant(s)) will be required to be submitted.

You may apply online or obtain an application from Ecology's website at: <http://www.ecy.wa.gov/programs/wq/stormwater/construction/> - **Application**. Construction site operators must apply for a permit at least 60 days prior to discharging stormwater from construction activities and must submit it on or before the date of the first public notice.

Ecology's comments are based upon information provided by the lead agency. As such, they may not constitute an exhaustive list of the various authorizations that must be obtained or legal requirements that must be fulfilled in order to carry out the proposed action.

Angelie Stahlnecker, Planning and Building Administrator

March 27, 2019

Page 3

If you have any questions or would like to respond to these comments, please contact the appropriate reviewing staff listed above.

Department of Ecology  
Southwest Regional Office

(MLD:201901308)

cc: Tara Davis, HWTR  
Robert Rieck, HWTR  
Derek Rockett, SWM  
Chris Montague-Breakwell, WQ

**CITY OF FIRCREST PLANNING COMMISSION**  
**Notice of Decision / Resolution No. 19-02**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF FIRCREST, WASHINGTON, APPROVING A PRELIMINARY SITE PLAN FOR THE CONSTRUCTION OF A NEW COMMUNITY CENTER, OUTDOOR POOLS, AND BATHHOUSE TO REPLACE EXISTING RECREATION FACILITIES AT FIRCREST PARK.**

**WHEREAS**, an application was made by City of Fircrest Parks and Recreation Department on February 13, 2019 for Preliminary Site Plan Review approval for a new community center, outdoor swimming pools, and bathhouse to replace existing recreation facilities at the southwest corner of Fircrest Park, near the intersection of Contra Costa Avenue and Electron Way; and

**WHEREAS**, the application was assigned Case Number 19-02 and deemed complete on February 26, 2019; and

**WHEREAS**, a Notice of Application was issued on February 27, 2019 with a comment period of at least 14 days ending March 13, 2019; and

**WHEREAS**, a SEPA Determination of Nonsignificance was issued on March 13, 2018 with a 14-day comment period ending March 27, 2019, and comments were received from the Department of Ecology; and

**WHEREAS**, on April 19, 2019, a Notice of Public Hearing for the permit application was published in the Tacoma Daily Index and mailed to owners of property located within 500 feet of the property boundaries, and the subject property was posted April 19, 2019; and

**WHEREAS**, the subject property is designated *Parks, Recreation and Open Space (PROS)* in the City's Comprehensive Plan; and

**WHEREAS**, the subject property is zoned *Park, Recreation and Open Space (PROS)*, which permits community centers, swimming pools, bathhouses and associated off-street parking, subject to site plan approval in accordance with FMC 22.72 and administrative design review approval per FMC 22.66; and

**WHEREAS**, the Commission has held a public hearing on this application on May 7, 2019, considered public comment, and has examined pertinent maps, drawings, and documents; and

**WHEREAS**, the Commission has made the following Findings of Fact and Conclusions of Law:

1. *The project consists of replacing existing public recreational facilities (a community center that includes outdoor pools and bathhouse) with comparable facilities of a similar scale and in the same general location. The applicant's public outreach process conducted during 2018-2019 was designed and executed to ensure that community input, especially from residents in the surrounding neighborhood, was considered when developing the project design. As conditioned, the proposed use and site design will not be detrimental to the public health, safety, and welfare; injurious to property or improvements in the vicinity; or adversely affect the established character of the surrounding vicinity.*
2. *At a conceptual level, the proposed use and site design meets or exceeds all applicable development, design and performance standards and guidelines required for the specific use, location, or zoning classification, including PROS District bulk regulations, parking and circulation standards, landscaping regulations, and building and site design guidelines.*
3. *The proposed use and site design are largely consistent and compatible with Park, Recreation and Open Space Goals P1 and P2, Community Character Goals CC1 and CC4, Land Use Goals LU2 and LU10, and associated policies, listed below:*

**GOAL P1** Enhance a high quality, diversified system of parks, recreation facilities, and open spaces that are attractive, safe, functional, affordable and accessible to all segments of the population.

**Policy P1.1** Provide parks with activities for all age groups and abilities.

**Policy P1.2** Develop athletic facilities that meet the highest quality competitive playing standards and requirements for all age groups, skill levels, and recreational interests.

**Policy P1.3** Develop new or improve existing multi-use facilities to increase flexibility of use for new activities, or other new trends, as there is a demonstrated need in the community.

**Policy P1.4** Redevelop indoor community spaces that provide arts and crafts, music, video, classroom instruction, meeting facilities and other spaces for all age groups on a year-

**Policy P1.5** Provide a blend of passive and active parks and open spaces that fulfil the recreational needs of the City's residents.

**Policy P1.6** Design and manage park and recreational trails and facilities offering universal accessibility of residents of all physical capabilities, skill levels, ages, income, and activity interests.

**Policy P1.7** Plan for the future so adequate open space, historical elements, recreation facilities and programs are provided for future generations.

**GOAL P2** Provide adequate recreational opportunities to meet the leisure needs for all age and interest groups that engage a broad cross-section of the community.

**Policy P2.3**

Provide programs, special events and facilities that promote a sense of community and stimulate socialization for the individuals and family.

**Policy P2.5**

Support the development of athletic facilities that meet quality playing standards and requirements for all age groups and recreational interests, concentrating on field and court activities that provide for the largest number of participants.

**GOAL CC1**

Facilitate the success of public places that foster community cohesiveness by ensuring well-designed spaces that support activity and community interaction.

**Policy CC1.1**

Continue to provide community gathering places in recreation facilities and park sites throughout the city and encourage development of new community gathering places, especially in underserved areas of the community.

**Policy CC1.4**

Design and build Fircrest's public buildings and indoor/outdoor facilities to enhance their function as community gathering places.

**Policy CC4.3**

Design and build Fircrest's civic buildings in a superior way and with high-quality materials to serve as innovative and sustainable models to the community.

**GOAL CC4**

Adopt and implement design standards and guidelines that will achieve design excellence, desired urban form, and community character goals consistent with citizens' preferred design parameters.

**Policy CC4.5**

Foster the natural environment and maintain and enhance the green character of the city, while integrating healthy built environments through techniques such as:

- Encouraging design that minimizes impact on natural systems;
- Using innovations in public projects that improve natural systems;
- Preserving key areas of open space; and
- Requiring the preservation, maintenance and installation of new street trees and other vegetation in accordance with the City's design standards and guidelines, and landscaping requirements.

#### **Policy CC4.6**

Encourage design and installation of landscaping that:

- Creates character and a sense of place;
- Retains and enhances existing green character;
- Preserves and utilizes native trees and plants;
- Enhances water and air quality;
- Minimizes water consumption;
- Provides aesthetic value;
- Creates spaces for recreation;
- Unifies site design;
- Softens or disguises less aesthetically pleasing features of a site; and
- Provides buffers for transitions between uses or helps protect natural features.

#### **GOAL LU2**

Ensure that future growth and development protect and enhance the City's quality of life and character and are compatible with existing community fabric.

#### **Policy LU2.3**

The City should promote compatibility between land uses and minimize land use conflicts when there is potential for adverse impacts on lower-intensity or more sensitive uses by:

- Ensuring that uses or structures meet performance standards that limit adverse impacts, such as noise, vibration, smoke and fumes; and
- Creating an effective transition between land uses through building and site design, use of buffers and landscaping, or other techniques.

#### **GOAL LU10**

Land uses and development and redevelopment projects shall be managed to preserve and improve the natural environment as well as the built environment.

#### **Policy LU10.7**

To minimize maintenance costs, conserve water, and provide vegetation with the maximum usefulness as wildlife habitat, urban landscaping should emphasize the use of indigenous plants that are drought tolerant during the summer months. Landscaping may also include non-native plant species that are well adapted to growing and providing wildlife habitat with minimal human intervention in the local climate and soils.

4. *Conditions of approval will ensure that all potential impacts resulting from the project are mitigated to a satisfactory level in conformance with applicable code requirements. All proposed conditions can be monitored and enforced through the administrative design review, site development permit, and building permit approval processes and subsequent site inspection process.*

**THEREFORE, BE IT RESOLVED** that the Planning Commission of the City of Fircrest hereby approves the preliminary site plan review for Case 19-02 with the following conditions:

1. The applicant shall obtain site development permit approval from the City of Fircrest prior to commencing work on site improvements and other new construction.
2. The applicant shall obtain administrative design review approval prior to issuance of building permits, installation of landscaping, and initiation of other site improvements.
3. Plans submitted for final design review shall be designed in substantial conformance with the preliminary site plan approved pursuant to Case 19-02.
4. The proposal shall comply with all development standards specified for the PROS District in accordance with FMC 22.54.007.
5. The proposal shall be designed and constructed in accordance with all applicable performance standards in FMC 22.58.008.
6. The proposal shall be designed and constructed in accordance with all applicable design standards and guidelines in FMC 22.64.
7. Outdoor lighting shall be designed in accordance with FMC 22.58.018. An outdoor lighting plan shall be submitted for, and receive, final design review approval prior to installation of outdoor lighting.
8. Landscaping shall be designed, installed and maintained in accordance with FMC 22.62 or as authorized through the administrative design review process. A final landscape plan shall be submitted for, and receive final design review approval prior to issuance of the final site plan.
9. Bike racks and/or lockers shall be provided near entrances to the community center and bathhouse in safe, visible areas that do not impede pedestrian or vehicle traffic flow, are well lighted for nighttime use, and located in covered areas or otherwise be protected from the elements where practicable.
10. Street trees shall be planted within the Electron Way and Contra Costa Avenue rights-of-way adjacent to substantially modified or improved segments of these streets, in accordance with FMC 22.62.006 and the City's Design Standards and Guidelines for Streetscape Elements.
11. All grading and filling of land must utilize only clean fill. All other materials may be considered solid waste and permit approval may be required from the Tacoma-Pierce County Health Department prior to filling. All removed debris resulting from this project must be disposed of at an approved site.



12. The project stormwater design shall comply with the 2012 Washington State Department of Ecology's Stormwater Management Manual for Western Washington. Consistent with NPDES Western Washington Phase II Municipal Stormwater Permit requirements, LID designs and LID BMPs are required in areas where soils and geology support it. Water quality treatment and/or flow control shall incorporate LID components to the extent practicable consistent with The Low Impact Development Technical Guidance Manual for Puget Sound.
13. Coverage under the National Pollution Discharge Elimination System (NPDES) and State Waste Discharge General Permit for Stormwater Discharges Associated with Construction Activities (SWDGP SDACA) is required for construction sites that disturb an area of one acre or more and have or will have a discharge of storm water to surface water or a storm sewer. Any required permits shall be obtained prior to the start of clearing, grading or construction on the site.
14. In addition to any required asbestos abatement procedures for the demolition of existing structures, the applicant shall ensure that any other potentially dangerous or hazardous materials present, such as PCB-containing lamp ballasts, fluorescent lamps, and wall thermostats containing mercury, are removed prior to demolition. Any PCBs found in caulking and paint shall be removed and appropriately managed prior to demolition.

**PASSED AND ADOPTED** by the Planning Commission of the City of Fircrest on the 7<sup>th</sup> day of May 2019 by the following vote:

AYES:        ( )  
NOES:        ( )  
ABSENT:     ( )

\_\_\_\_\_  
Karen Patjens, Planning Commission Chair

ATTEST: \_\_\_\_\_  
Angelie Stahlnecker, Planning and Building Administrator

.....  
**Assessor's Notice per HB 2567:** Affected property owners may request a change in valuation for property tax purposes notwithstanding any program of revaluation.  
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### **Information Regarding Appeals**

Appeals of this decision shall be governed by the provisions contained within Fircrest Municipal Code Chapter 22.10. Only parties of record have standing to appeal the Planning Commission's decision. An appeal of this decision must be filed within fourteen (14) calendar days of the date of this Notice of Decision, which is May xx, 2019. Therefore, the appeal deadline for this decision is May xx, 2019 at 5:00 PM. Appeals shall be in writing, accompanied by an appeal fee, and containing the information requested in FMC 22.10.004(A)(4). For more information, contact Angelie Stahlnecker, 115 Ramsdell Street, Fircrest WA 98466, 253-238-4125 or [planning@cityoffircrest.net](mailto:planning@cityoffircrest.net).